



**AGENDA**  
**HISTORIC AND ARCHITECTURAL PRESERVATION COMMISSION**  
**WEDNESDAY, September 10, 2025**  
**6:00 P.M.**

Oxford Courthouse  
118 W High Street

**MEMBERS**

Dana Miller, Chair

Corey Watt, Planning Commission Representative	Alex French, Council Representative
Alia Levar Wegner	Brad Spurlock, Vice Chair
Sean Wagner	Kelsey Stryffe

**STAFF**

Sam Perry, Director, Community Development

**MEETING PROCEDURE:** Comments from the public are welcome at two different times during the course of the meeting:  
(1) Comments on items not on the Agenda will be heard under Public Comments – and  
(2) Comments for all public hearing items will be heard during HAPC consideration of said item. Please wait until you are recognized by the Chair, join the Commission table, state your name and address so that your comments may be properly recorded and limit your remarks to a period of four minutes or less.

- I. Call to Order
- II. Approval of Agenda
- III. Public Comments
- IV. Approval of Minutes of July 9, 2025
- V. New Business
  1. **36 East High Street**, Brick Street Bar, **Certificate of Appropriateness for sign modification**, Mark Weisman, Applicant, Vince Klusty, Klusty Sign Associates, Agent
- VI. Old Business
  1. Draft Historic District Design Guidelines -- Review and Discussion
- VII. Adjournment

HISTORIC AND ARCHITECTURAL PRESERVATION COMMISSION (HAPC)  
MEETING MINUTES  
WEDNESDAY, July 9, 2025  
6:00 P.M.

## **I. Call to Order**

The July 9, 2025 meeting of the Oxford Historic and Architectural Preservation Commission was called to order at 6:00 p.m. by Brad Spurlock.

Those members present: Corey Watt, Sean Wagner, Kelsey Stryffe, Alex French, and Brad Spurlock

Those members excused: Dana Miller, Alia Levar Wegner

Staff members present: Sam Perry, Community Development Director

Staff members excused: None

Mr. Spurlock welcomed Ms. Kelsey Stryffe to the Commission and asked Ms. Stryffe to introduce herself.

## **II. Approval of Agenda**

Mr. Watt made a motion to approve the agenda. Mr. Wagner seconded the motion. All were in favor.

## **III. Public Comments**

There were no comments from the public.

## **IV. Approval of Minutes of March 12, 2025**

Mr. Wagner made a motion to approve the minutes as written. Mr. Spurlock seconded the motion. Mr. Watt abstained from voting since he was absent at the meeting. Ms. Stryffe also abstained from voting because she was not serving on the Commission at that time.

## **V. New Business**

### **Historic Plaque Marker Applications for 101 N Main Street and 104 E Church Street**

Mr. Perry explained the application was submitted by William Hazelton on behalf of the Oxford Presbyterian Church. Mr. Perry also mentioned there has been no activity in the historical marker program since 2014. Mr. Perry informed the Commission that Mr. Hazelton was not able to attend tonight's meeting and Mr. Chuck Crane will represent the Oxford Presbyterian Church.

Mr. Perry explained the historical markers do not have regulatory requirements. The applicants sign an agreement that they would remove the marker if something inappropriate was done that changes the historical character. Mr. Perry mentioned there would be a ceremony in the fall that would recognize the historical marker. Mr. Perry further explained there are two tiers. Tier 1 is a Preservation Award where the City is acknowledging preservation work within the past 3 years.

Tier 2 is a public acknowledgement of the value that the property provides to the community. Mr. Hazelton applied for Tier 2, stated Mr. Perry.

Mr. Perry briefly listed the locations that have historical markers. Some of these markers are outside of the Historic District.

Mr. Watt wondered if the church was planning an event in connection with the receiving of the plaque. Mr. Crane explained there will be a public and congregational event at the end of October where HAPC is invited as an honored guest. The program has not fully been developed but Mr. Crane imagined the recognition would be part of it.

Mr. Watt made a motion to approve the application. Ms. French seconded the motion. All were in favor.

Mr. Crane stated they started the review process in March. Prior to this, a small committee did research work for 6 months. Mr. Crane emphasized all the work they had done is documented and shared with the City.

#### **VII. Administrative Decisions (Previously Decided)**

**HAPC-2025-02, 37 E High Street, CERTIFICATE OF APPROPRIATENESS, wall sign, Ricky Roderer, Fast Signs, Applicant/Agent**

The Commission discussed options that could be done to minimize damage to the buildings when applicants mount signs and include them to the Design Guidelines.

#### **VIII. Adjournment**

Mr. Watt made a motion to adjourn the meeting. Ms. Stryffe seconded the motion. All were in favor. The meeting adjourned at 6:28 pm.



**MEMORANDUM**  
Community Development Department  
513-524-5204

**TO:** Historic & Architectural Preservation Commission  
**FROM:** Sam Perry, AICP  
Director | HAPC Administrator  
**MEETING DATE:** September 10, 2025  
**RE:** HAPC 2025-03 – 36 East High Street – sign modification

Vince Klusty of Klusty Sign Associates and Mark Weisman of Brick Street Bar have requested a Certificate of Appropriateness (COA) to modify the existing Brick Street Bar marquee sign. Their proposal is to replace the manual changeable copy letters with electronic message displays. Typically signs or sign modifications are reviewed and approved administratively. The HAPC Administrator and HAPC Chair did not find that this COA request was “minor in nature” therefore it could not be approved administratively. Thus, it is being placed on the agenda for review, as a standard procedure.

There is also a pending Board of Zoning Appeals (BZA) case regarding this same proposal. The Zoning Administrator denied the sign permit application on July 9 because it does not comply with the sign provisions of the Oxford Zoning Code. An attorney for Mr. Weisman has appealed the zoning decision to the Board of Zoning Appeals, requesting that the decision be overturned. The case is scheduled to be heard September 23.

This COA request can be heard separate from the BZA case, as it is a separate application process. The parameters for the review of a COA can be found in Oxford Code of Ordinances [1152.07\(f\)](#):

*(f) COA Review Criteria.*

*(1) Decisions on a COA application shall be based on consideration of the following criteria:*

*A. The proposed development complies with all the requirements of this code and other related codes and ordinances enforced by the City;*

*B. Properties which contribute to the character of the historic district shall be retained, with their historic architectural features intact and altered as little as possible;*

*C. Any alteration of an existing property shall be compatible with its historic character, as well as with the surrounding district;*

*D. New construction shall be compatible with the district in which it is located;*

*E. The application demonstrates compliance with any historic guidelines or policies adopted by the City of Oxford that are applicable to the subject application; and*

*F. In determining compatibility, the HAPC shall consider the following:*

*1. The general design, character, and appropriateness to the property of the proposed alteration or new construction;*

*2. The scale of the proposed alteration or new construction in relation to the property itself, surrounding properties, and the neighborhood;*

*G. The texture, materials, and color and their relation to similar features of other properties in the neighborhood;*

*H. The visual compatibility with surrounding properties, including proportion of the properties façade, roof shape, and the rhythm of spacing of properties on streets, including setback; and*

*I. The importance of historic, architectural, or other features to the significance of the property.*

*(2) In its considerations of whether an application is deserving of an approval, the HAPC may also consider the cost of modifications or other proposals, where costs for a particular action or inaction may be unreasonable given existing conditions of a structure, site, or area.*

*(3) The HAPC shall encourage alterations and repairs to historic structures and to structures in historic districts in the spirit of their existing architectural style; however, additions in styles different than the existing structure may be approved if such additions complement the existing architectural style. The HAPC shall be flexible in its judgment of plans for alteration, repair, or demolition of structures, sites, and areas of little historic or cultural value except where such alteration, repair, or demolition would seriously impair the historic value and character of surrounding structures or of the surrounding area. It is not the intent of this Chapter to limit alteration or repair to any one period of architectural style.*

The Brick Street Bar is located within the historic 1939 Miami Western Theater building. The marquee sign is a remnant of the former theater and has continued to be used by later tenants of the building. Chapter 25 (pages 75-76) of the [Design Guidelines](#) contain guidance on “Graphics, Signage & Building Identification.”

The Guidelines do not speak specifically to electronic message boards, but do offer the following relevant guidance:

Page 75:

*“The sign code of the City of Oxford shall be consulted”*

Page 76:

*“....sign illumination shall be indirect (for example: flood lights, but not internal lighting)*

*“sign materials should include wood, stone, metal, glass or composites or plastic, indistinguishable from their natural counterparts.”*

*“[the sign] shall respect the architectural theme, composition and scale of the building to which it is attached.”*

*“sign color shall complement the overall color scheme of the structure.”*

*“sign types which are traditionally associated with strip or highway development are prohibited. (ie. plastic signs, billboards, portable signs, etc.)”*

Previous reviews of Electronic Signs / ATM Screens within the Uptown Historic District, (since 2013, only):

1. 2013 – Oxford Methodist Church – 14 North Poplar Street – A COA for a ground-mounted freestanding electronic reader board sign in front of the church building was denied by HAPC in April 2013.
2. 2013 – Chase Bank – 20 West High Street – A COA for adjusting the location and replacing the outdoor ATM machine for ADA accessibility was approved by HAPC in July 2013, but ultimately not installed and instead moved to the interior vestibule.
3. 2017 – The Den Convenience Store – 119 East High Street – A COA for approving the after-the-fact installation of an outdoor ATM was denied by HAPC in September 2017.
4. 2017 – The Den Convenience Store – 119 East High Street – A COA for approving the new location of an outdoor ATM was approved by HAPC in November 2017 – ultimately not installed.
5. 2018 – Dubois Book Store – 118 East High Street – A COA for a new ATM was approved in July 2018

6. 2018-2019 – Circle K Gas Station – 11 North College Ave – 2 COA’s were approved for multiple sign changes for the gas station re-branding – 1 included the change of manual to electronic fuel pricing signage

Based upon a review of the Design Guidelines and the previous cases regarding electronic signage and screen technology within the Uptown Historic District, there is little support for approving the COA. Additionally, it is clear when viewing new signs outside the Uptown Historic District, that manual changeable copy lettering signs can still be manufactured and are commonly installed in Oxford. (ie. Dairy Queen, Arby’s).

# GRAPHICS, SIGNAGE, & BUILDING IDENTIFICATION

Signs serve two purposes for businesses: to advertise and to identify. Unfortunately, these purposes are often placed at cross purposes when individual businesses attempt to distinguish themselves through ever increasing signage (both in size and number). This has the unintended effect of making all businesses in an area less visible while creating potential traffic hazards, confusion, and aesthetic devaluation. The commercial corridor in the Uptown Historic District has undergone numerous changes in graphics and signage throughout the years in an attempt to find the balance between advertising and identifying particular businesses and maintaining the appearance of the District as a whole.

## General Requirements, Maintenance and Preservation

1. All proposed new, changes in, or replacements of, signage in historical districts must be submitted for HAPC review according to Chapter 1331 of the Oxford Codified Ordinance, the HAPC Rules of Procedure, in addition, all requirements for submissions for planning and zoning regulations.
2. The Sign Code of the City of Oxford Planning & Zoning Code shall be consulted for specific sign regulations in the relevant zoning category underlying a Historic Preservation District.
3. Any change, installation, preservation, or maintenance work on signs in a Historic District shall not permanently alter or damage a building. Likewise, any existing architectural details shall not be removed, damaged, or covered over. When signs are removed, the building surface shall be repaired and/or restored.



Appropriate lighting and signage in Uptown Oxford.

4. All signs shall be protected against deterioration or fading.

# GRAPHICS, SIGNAGE, & BUILDING IDENTIFICATION

## Specific Recommendations Regarding Signage, Graphics, & Building Identification

### Exterior:

1. For signs located on the outside of a building, all illumination shall be indirect, and in accordance with Oxford Planning and Zoning Code 1151.03(f).
2. All sign installations must be reversible and cannot damage the underlying structure.
3. Exterior light fixtures and installation selections shall complement the overall architectural character of the building in scale, style, and material.
4. Appropriate exterior sign materials include wood, stone, metal, glass or composites or plastic indistinguishable from their natural counterparts.
5. All exterior signage shall respect the architectural theme, general composition, and scale of the building to which it is attached.
6. Exterior sign color shall complement the overall color scheme of the structure. Sign letters shall contrast with, but complement, their background.
7. Any art work, trademarks, or corporate logos on any exterior sign shall be intimately associated with and specifically designed for the individual business identified. Such logos as beer and soda logos are prohibited. (Examples of acceptable artwork include signs for the Convention and Visitors' Bureau, churches or banks.)
8. Exterior sign types which are traditionally associated with strip or highway development are prohibited. (ie. plastic signs, billboards, portable signs, etc.)
9. Sandwich board signs and banners are allowed per Oxford Zoning Code Chapter 1151.
10. For building identification purposes, address numerals should be attached to all buildings. These should be between 3 and 8 inches high and should be constructed of appropriate and complementary material to the building structure. The address should be easily seen from the adjacent street or public way, yet be as unobtrusive as possible.



Insensitive signage (left) contrasts very sensitive signage (right). These signs are directly across the street from each other.





MIAMI  
WESTERN

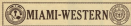
MIAMI  
WESTERN

CORONER CREEK  
MARGUET CHAPMAN  
RANDOPH SCOTT



Announcing.....

# GALA OPENING



Corner High and Poplar Streets    ☞    Oxford, Ohio

Day Office  
Open at 8:30 P. M.

Home Open  
at 7:00 P. M.

Admission ..... \$10  
Children ..... 15c

# Friday, September 23



Florsheim shoes

SHOES OF AMERICA

Coca-Cola

Young's Shoes

Clock

WESTERN

MIAMI WESTERN

GUESS WHO'S COMING TO DINNER  
KATHARINE HEPBURN  
SIDNEY POITIER



# CERTIFICATE OF APPROPRIATENESS APPLICATION

Please print legibly. To apply, email completed form and plans in PDF format to [commdev@cityofoxford.org](mailto:commdev@cityofoxford.org)

## BOX 1 | APPLICATION TYPE Select one

- Pre-Application for Certificate of Appropriateness
- Certificate of Appropriateness

## BOX 2 | APPLICATION DETAILS

Property Address/Location 36 E High Street, Oxford, OH 45056

Building Name Current: Brick Street / Historic: Miami Western Theater

Does the proposal involve demolishing an existing building?  Yes  No

Description of Proposed Change(s) Marquee face change to include replacement of old surface panels (both sides) and replacement of electrical wiring and electrical components. The work qualifies as permitted maintenance. Ord. 1137.10(b)(2)(c). Direct lighting is maintained as a non-conforming use. The marquee (former theater) is a non-conforming structure. Materials for historical reference are attached.

## BOX 3 | APPLICANT INFORMATION

Is the applicant also the current property owner?

- Yes (You may skip Box 4)
- No (Do not skip Box 4, and include a Letter of Agency with your submittal)

Applicant Name Mark Weisman

Applicant Company Name Weisman Enterprise Holdings

Mailing Address 36 E High St, Oxford, OH 45056

Email Address mw120396@gmail.com

Telephone Number 513-255-2851

## BOX 4 | PROPERTY OWNER INFORMATION Check if same as Applicant

Property Owner Name Benjy Federbush

Property Owner Company Name 36 E High Street LLC

Mailing Address 185 Varick St, New York, NY 10014

Email Address bwf@varickrealty.com

Telephone Number

## BOX 5 | ARCHITECT INFORMATION Check if same as Applicant

Architect/Engineer Name

Company Name

Mailing Address

Email Address

Telephone Number

**BOX 6 | ATTACHMENT CHECKLIST** Submit all contents in **PDF format**. No printed copies are necessary.

- Narrative/Cover Letter** providing a written description of the proposed exterior change(s)
- Elevations, site plans, renderings, diagrams, photo simulations, and/or other items** necessary to accurately illustrate the details of proposed exterior change(s)
- Photos** of existing site conditions

**Note:** Upon checking an application for completeness, staff may require additional information and/or materials above and beyond the items listed above in order to perform a complete evaluation for compliance with relevant Code provisions. You are welcome to contact Community Development at 513-524-5204 ahead of submission to determine whether additional items may be required. For example, a **material sample** may be requested for certain small-scale changes such as new signage, doors, etc.

**BOX 7 | APPLICANT SIGNATURE**

*As the owner or owner's agent, I hereby agree all information contained in this application is true, accurate, and complete to the best of my knowledge. I acknowledge the application will first be checked by City staff for completeness prior to processing. Upon intake, staff will consult the Chair of the Historic & Architectural Preservation Commission (HAPC) to determine whether an application is approvable in an administrative fashion, or will require being heard by the full Commission at a regular meeting date.*

**Applicant Name (Print)** Mark Weisman

**Applicant Signature**



**Date** 7/8/25

**Processing Fee**

The appropriate processing fee amount will be determined during a completeness check by Community Development staff. It may take 1-2 business days for a completeness check to be performed. The applicant will receive a digital copy of a processing fee invoice via email once it is ready. Fees may be paid in-person by check or credit card at the Finance Department window on the first floor of the Oxford Municipal Building, 15 S College Avenue, Oxford OH 45056. For credit card payments, the City accepts Visa, MasterCard, or Discover, and such payments may also be taken over the phone by calling our Finance Department Utilities line at 513-524-5221, Option 1.

**Bond Requirement for Demolitions**

Be aware that any future Demolition Permit cannot issued unless accompanied by a COA and shall include:

- (1) a **performance bond** posting with security equivalent to 100% of the approved cost of leveling the site, filling with soil and sodding or seeding the surface.
- (2) payment of a **mitigation fee** of ten percent (10%) of the approved demolition cost.

**COA Review Criteria** For source text, refer to Oxford Zoning Code [Section 1152.07\(f\)](#)

Decisions on a COA application shall be based on consideration of the following criteria:

- (1) The proposed development complies with all the requirements of this code and other related codes and ordinances enforced by the City;
- (2) Properties which contribute to the character of the historic district shall be retained, with their historic architectural features intact and altered as little as possible;
- (3) Any alteration of an existing property shall be compatible with its historic character, as well as with the surrounding district;
- (4) New construction shall be compatible with the district in which it is located;
- (5) The application demonstrates compliance with any historic guidelines or policies adopted by the City of Oxford that are applicable to the subject application; and
- (6) In determining compatibility, the HAPC shall consider the following:
  - A. The general design, character, and appropriateness to the property of the proposed alteration or new construction;
  - B. The scale of the proposed alteration or new construction in relation to the property itself, surrounding properties, and the neighborhood;
  - C. The texture, materials, and color and their relation to similar features of other properties in the neighborhood;
  - D. The visual compatibility with surrounding properties, including proportion of the properties façade, roof shape, and the rhythm of spacing of properties on streets, including setback; and
  - E. The importance of historic, architectural, or other features to the significance of the property.
- (7) In its considerations of whether an application is deserving of an approval, the HAPC may also consider the cost of modifications or other proposals, where costs for a particular action or inaction may be unreasonable given existing conditions of a structure, site, or area.
- (8) The HAPC shall encourage alterations and repairs to historic structures and to structures in historic districts in the spirit of their existing architectural style; however, additions in styles different than the existing structure may be approved if such additions complement the existing architectural style. The HAPC shall be flexible in its judgment of plans for alteration, repair, or demolition of structures, sites, and areas of little historic or cultural value except where such alteration, repair, or demolition would seriously impair the historic value and character of surrounding structures or of the surrounding area. It is not the intent of this Chapter to limit alteration or repair to any one period of architectural style.

**Demolition Approval Criteria** For source text, refer to Oxford Zoning Code [Section 1152.09\(e\)](#)

The HAPC may approve a COA for demolition only if one of the following is satisfied:

- (1) The applicant has given clear evidence that the structure has incurred extensive damage to its basic structural elements such as roof, wall, and foundation requiring substantial reconstruction, and the structure presents an immediate danger to the public health, safety, or welfare as declared by the Chief Building Official (condemnation) but that such damage was not done through neglect of the property by the owner or former owners; or
- (2) The demolition is proposed for a structure that is identified as non-contributing or historic non-contributing in an adopted inventory of the applicable zoning district; or
- (3) The applicant demonstrates that the following conditions are met based on the designation of the site or structure in an adopted historic inventory:
  - A. Historic Structures
    - i. The applicant must demonstrate that the costs to rehabilitate or renovate the structure to a purposeful use exceeds 50 percent of the fair market value.
    - ii. The City shall reserve the right to have an individual or entity that is not a member of HAPC to assess the financial feasibility of renovating the structure.
    - iii. The COA shall not be approved if the cause of such damage was due to neglect by the owner or previous owners.
  - B. Non-Historic Contributing Structures
    - i. The removal will not adversely affect the architectural or historic integrity of the streetscape; or
    - ii. The structure is not consistent with other structures in the district in terms of historic character, architectural style, construction material, height, setback, or mass.

## Cover Letter

Certificate of Appropriateness Application

Brick Street / Former Miami Western Theater

36 E High Street, Oxford, OH 45056

The proposed exterior changes include:

Marquee face change to include replacement of old surface panels (both sides) and replacement of electrical wiring and electrical components. The work qualifies as permitted maintenance. Ord. 1137.10(b)(2)(c). Direct lighting is maintained as a non-conforming use. The marquee (former theater) is a non-conforming structure. Materials for historical reference are attached.

# LETTER OF AGENCY

To Whom It May Concern:

Please be advised that

Vince Klusty, Klusty Sign Associates

---

(Applicant Name)

has permission to represent our interest with the City of Oxford regarding

Brick Street Marquee

---

(Application Description)

located at

36 E High Street

---

(Property Address/Location)

Thank you,

Benjy Federbush


---

(Property Owner Printed Name – must be a person)

36 E High Street LLC

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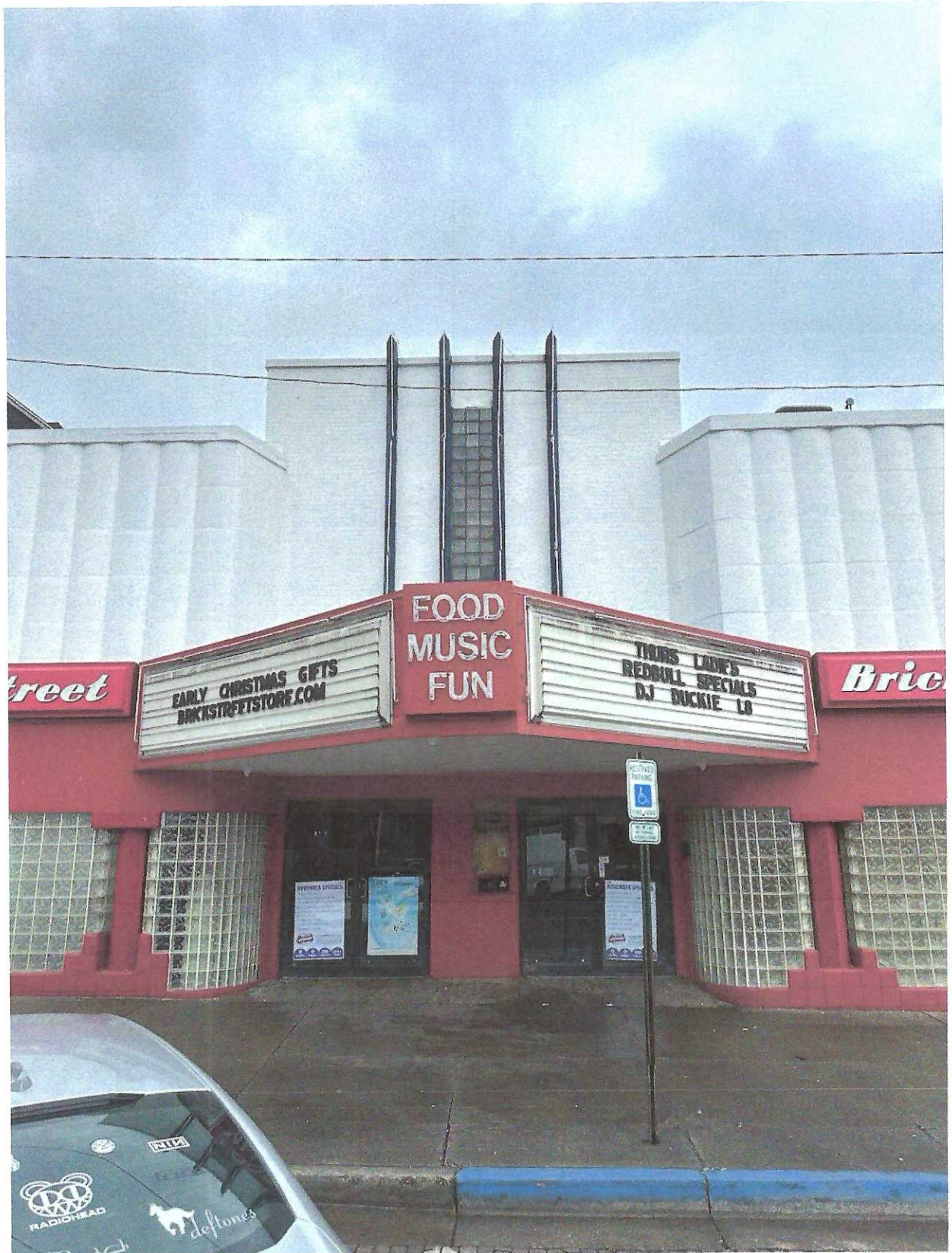
(Property Owner Company Name – if applicable)

  
\_\_\_\_\_  
(Property Owner Signature – must correspond to printed name above)

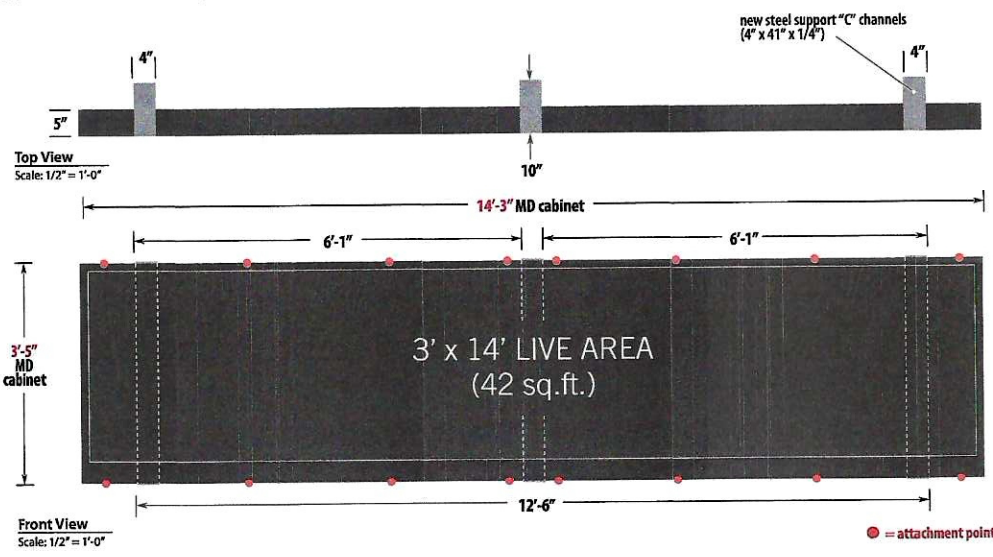
\_\_\_\_\_  
(Date)



Photos of existing site conditions:



**TWO (2) MESSAGE DISPLAYS (MD) and SIX CUSTOM (6) STEEL SUPPORTS**



**MESSAGE DISPLAY (MD)**

- Watchfire™ 6mm W-series full color.
- Matrix size: 144 x 672 (True 1R, 1G, 1B Pixels: 96,768).
- Viewing angles: 150° Horiz / 95° Vert
- Communications method: 4G cellular wireless.
- Maximum brightness daytime: 7,500 NITS
- Maximum brightness night-time: 700 NITS.
- Software: Watchfire™ Ignite OPx (cloud-based).
- Includes spare parts kit.

**DISPLAY SUPPORT**

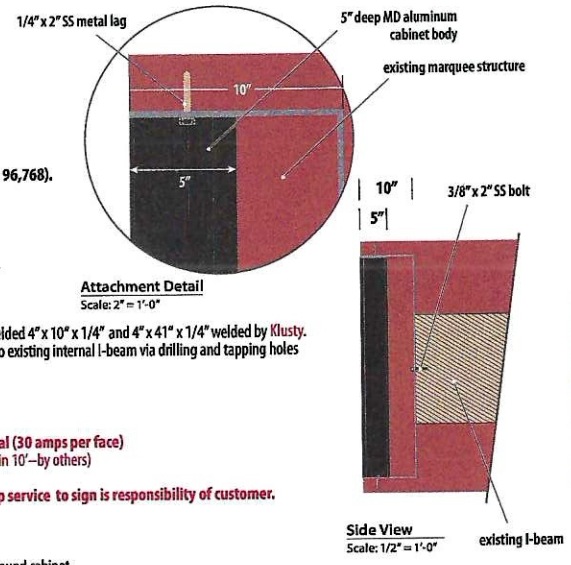
- Secured to custom "C" channel consisting of welded 4" x 10" x 1/4" and 4" x 4 1/2" x 1/4" welded by Klusty.
- The "C" channel is to be mechanically fastened to existing internal I-beam via drilling and tapping holes into it and fastening with 3/8" bolts.

**ELECTRICAL**

- Dedicated Primary Electric By others.**
- EMC: dedicated circuit 120 volt / 60 amps total (30 amps per face)
- Final connection by Klusty only if in place (within 10'—by others) and to code at time of installation.
- **\*NOTE: provision of sufficient voltage/amp service to sign is responsibility of customer.**
- Watchfire sign UL listed. Ⓢ

**ADDITIONAL SPECIFICATIONS**

- Remove existing pan faces and recessed background cabinet



Scale: 1/8" = 1'-0"

\*After zoning approval, manufacturing methods may be subject to change.  
\*Colors may not be exact as shown because of printer limitations. Refer to actual material color charts for true color representation.

APPROVED BY:	DATE:
LANDLORD:	DATE:
APPROVAL:	DATE:
All designs and specifications are the sole copyrighted property of Klusty Sign Associates, Inc. Any unauthorized use, copying, or reproduction is a violation of Federal Copyright law and will be subject to prosecution.	
DATE: 6/25/23	BY: Brian Marco
SCALE: 1/2" = 1'-0"	REP: Vince Klusty
CLIENT: Weisman Enterprise Holdings	
LOC: 36 E. High St.	
OXFORD, OH 45056	
DRAWING NO: BS-7-5327_zoning	



**MEMORANDUM**  
Community Development Department  
513-524-5204

**TO:** Historic & Architectural Preservation Commission

**FROM:** Sam Perry, AICP  
Director | HAPC Administrator

**MEETING DATE:** September 10, 2025

**RE:** **Draft Design Guidelines**

Preservation Forward and McKenna Associates has prepared a draft of the Historic District Design Guidelines. The draft is 76 pages. Please refer to the city website for the full document. The Commission can review the Guidelines in detail and/or appoint a subcommittee to report on suggested revisions. In order to stay on schedule, the Commission should complete a review within 30 days. The next step would be to forward suggested revisions to the consultant team. After revisions are complete, review again and then release for public comment, then request any additional revisions, complete and then forward to City Council for adoption. This is one of three parts of the overall Development Code overhaul. The other two being the Zoning/Subdivision Codes, and a first-ever, Historic Preservation Plan.

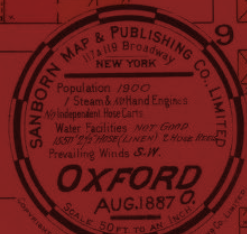


City of  
**Oxford** OHIO  
 HOME OF MIAMI UNIVERSITY

# Oxford Historic District Design Guidelines

City of Oxford, Ohio

Draft · August 14, 2025



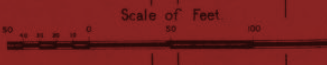
Ordinance No. 100, 1877  
 The following regulations shall be observed by every person who shall erect or construct any building or structure in the City of Oxford, Ohio, and no building or structure shall be erected or constructed in violation of the provisions of this ordinance, and no person shall be held liable for any building or structure erected or constructed in violation of the provisions of this ordinance, unless it be shown that he acted in good faith and without negligence.

*Wm. J. Taylor*  
*B. R. Deady, Mayor*  
*Shepley J. McCullough*  
*J. P. Beaton, Philip J. Taylor*  
*H. H. Whitworth*

**KEY**

- FINISH BALL IN AS ROOF
- WOOD SHEDS - SHEDS
- FRANK PORTER
- SPRINGS & WOOD SHEDS
- WINDOWS - SHUTTERS
- STABLE
- WOODEN SHEDS
- STY & ST
- GLASS COLORED YELLOW AND FRANK
- RED
- BRICK
- BLUE
- STONE
- GREEN
- IRON
- BROWN
- ACORN
- GREEN
- BRICKS
- PAVED AS ARE CITY LINES
- INDICATES RELATIVE HEIGHTS
- ADDITIONAL STREET WIDE AND ACTUAL
- CONCRETE
- IRON OR NEAR IRON - WOOD - CONCRETE
- SOLID
- METAL

POPLAR 66 FEET WIDE.



Map  
 Aut.  
 Library of CONSERV

# Acknowledgements

## City of Oxford

Sam Perry, Community Development Director

Zachary Moore, City Planner/GIS Coordinator

David Prytherch, Professor of Geography, Miami University; Councilor, Oxford City Council

## Historic and Architecture Preservation Commission (HAPC)

Dana Miller, Chair

Alex French, Council Representative

Corey Watt, Planning Commission Representative

Brad Spurlock, HAPC Member

Sean Wagner, HAPC Member

Alia Levar Wegner, HAPC Member

Kelsey Stryffe, HAPC Member

Prepared in collaboration with:



**MCKENNA**

235 East Main Street, Suite 105

Northville, MI 48167

[mcka.com](http://mcka.com)



[preservationforward.com](http://preservationforward.com)

517.220.5144



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# 01

# Importance of Design Guidelines

Historic district design guidelines are a flexible tool for ensuring the preservation of architectural character within a historic district. They ensure that future rehabilitation and redevelopment in the city will contribute to an aesthetic, character, and quality that is uniquely the City of Oxford. The City of Oxford Historic District Design Guidelines apply to all land within the Uptown, University, and Western Historic Districts. Properties located within the historic districts require approval from the Oxford Historic and Architectural Preservation Commission (HAPC) for restoration, rehabilitation, demolition, and new construction activities. The City of Oxford Design Guidelines will direct the HAPC during the Certificate of Appropriateness (COA) process, ensuring consistency and eliminating subjectivity. The instructions for the COA submittal and review process are outlined in the Certificate of Appropriateness section on page 3.

Design Guidelines can have a positive economic effect:

- » Enhance and Protect Property Values
- » Promote Heritage Tourism
- » Reinforce Community Identity and Marketability
- » Protect and Encourage Investment
- » Maintain sense of Place/Community Character
- » Promote Growth and Development<sup>1</sup>

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<sup>1</sup> City of Grand Rapids, Michigan, "Historic Preservation Guidelines" (Grand Rapids, MI, 2024), 7.

# Historic Preservation in the City of Oxford

Historic preservation is significant to the City of Oxford. Historic preservation protects the city's unique architectural and cultural heritage and is reflective of its growth and identity since being platted in 1810. By safeguarding buildings and sites from the nineteenth and twentieth centuries, preservation efforts honor Oxford's past while enhancing the quality of life for residents today. These efforts also support a vibrant local economy through heritage tourism and contribute to the character of Oxford's commercial and residential areas. Preserving Oxford's historic fabric fosters community pride and ensures that future generations can connect with the city's rich history.



## Historic and Architectural Preservation Commission

The Historic and Architectural Preservation Commission (HAPC) was created by Oxford City Council in October of 1979 (Ordinance No. 1544) in "order to protect and enhance structures, sites, and areas that are reminders of past eras, events, and persons important in local, state, or national history." The HAPC oversees the City's historic and architectural preservation code (Chapter 1152), providing information and education on historic preservation in the City, recommending the designation of districts and sites within the City, and reviewing plans for building modifications and new construction within Oxford's historic districts. The City of Oxford's Preservation Ordinance was adopted in 1979 and allowed for the establishment of the three local historic districts: the Uptown, University, and Western Historic Districts.

The HAPC and Oxford residents reference the Historic District Design Guidelines for potential projects located within the historic districts. Previous Design Guidelines were created for Oxford's historic districts in 1994 and 2011. The 1994 Design Guidelines explicitly discussed the Uptown Historic District while the 2011 Design Guidelines sought to provide guidelines for all three of Oxford's historic districts. Oxford's 2025 Design Guidelines intend to introduce new design standards sourced from historic preservation professionals and implement the Secretary of the Interior's Standards for the Treatment of Historic Properties, particularly the Standards for Rehabilitation. The 2025 Design Guidelines have established a framework from Oxford's 1994 and 2011 Design Guidelines and the Uptown Historic District Inventory executed in 2018. To prepare the 2025 Historic District Design Guidelines, a public planning process was conducted which included field research, public open forums, private developer meetings, and analysis of existing conditions, codes, and guidelines. The 2025 Design Guidelines utilize an alphabetical format for easy applicant, HAPC, and city reference.

## Certificate of Appropriateness Process

The City of Oxford HAPC requires review of proposed work including alterations, additions, new construction, and demolition within its historic districts. HAPC review is initiated through a formal application process in which applicants seek written approval for building-related work also known as a Certificate of Appropriateness (COA). COAs essentially act as work permits issued by the HAPC that certify that an application for work is appropriate and does not adversely effect resources within a local historic district. In some cases, the HAPC may delegate reviews of minimal building-related work to city staff for approval while more involved, complex projects require review from the HAPC as a whole. The HAPC meets on a monthly basis to review applications. Potential work in the historic districts needs to be presented to the HAPC and approved before it is submitted to the building department for permit. The COA procedure includes:

Work done without a COA is a serious violation that can result in a civil citation or HAPC hearing where the guilty party may be charged with a minor misdemeanor pursuant to the *City of Oxford Code Section 501.99*. Any person guilty of violating any provision of this chapter for a second time will be guilty of a misdemeanor of the fourth degree pursuant to the City of Oxford Code Section 501.99. See *Chapter 1152 of the Codified Ordinances of the City of Oxford* in order to learn more about the HAPC, the Certificate of Appropriateness Process, Compliance, and Penalties.

STEP  
1

Careful planning by property owner and architect using the City of Oxford Historic District Design Guidelines.

STEP  
2

Pre-application meeting with HAPC for building-related work involving demolition requests, new construction, and contributing historic structures.

STEP  
3

Submittal of COA application with necessary attachments and any applicable fees at least nineteen days prior to HAPC hearing.

STEP  
4

HAPC hearing and review.

STEP  
5

Receipt of application decision of either approval, approval with modifications, or denial of COA.

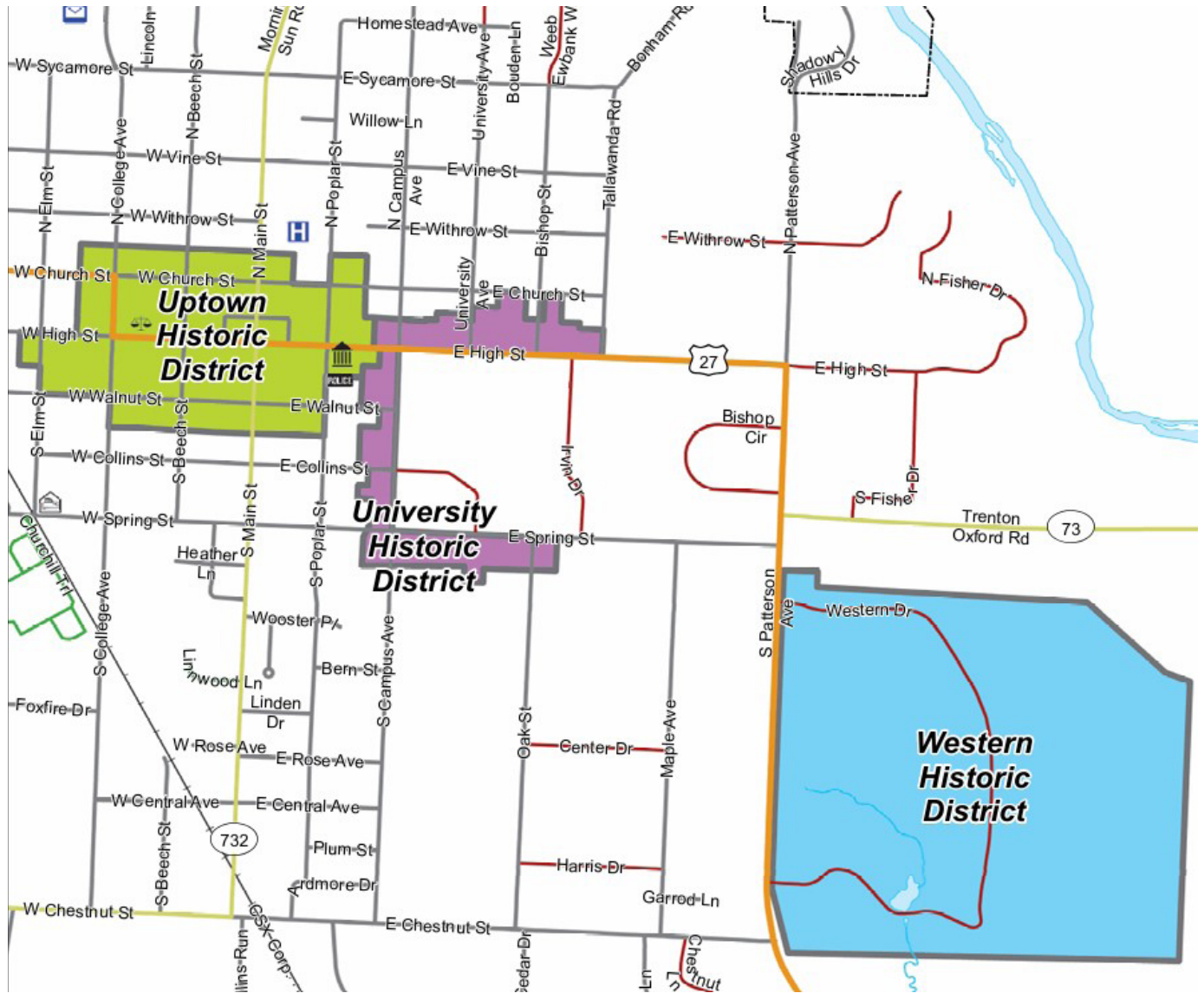
STEP  
6

Application for building, zoning, or demolition permits or other City approvals after obtaining COA.

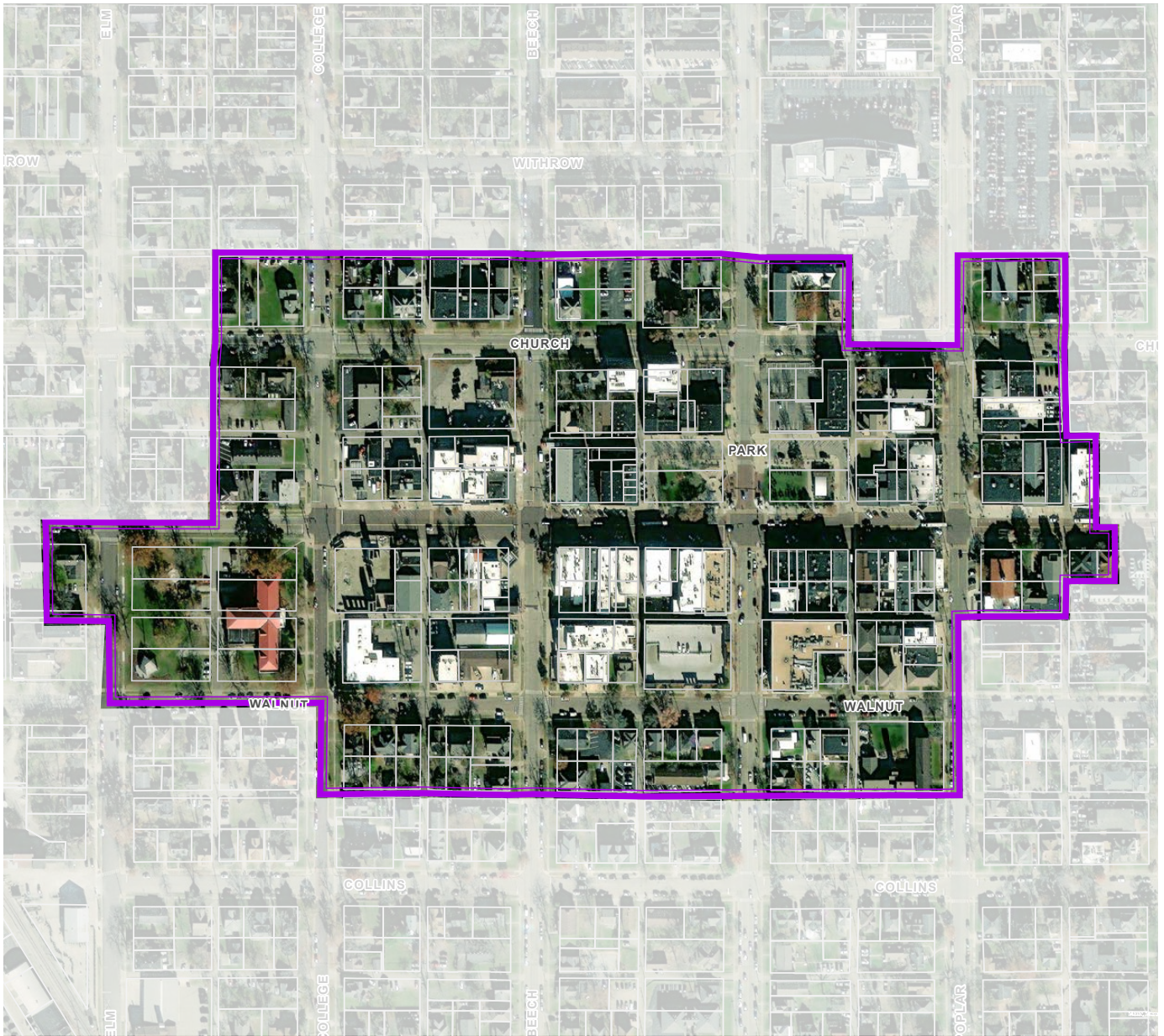
STEP  
7

Begin project.

# Maps of Oxford Historic Districts



Map displaying the location of Oxford's three local, historic districts in relation to each other and their boundaries.



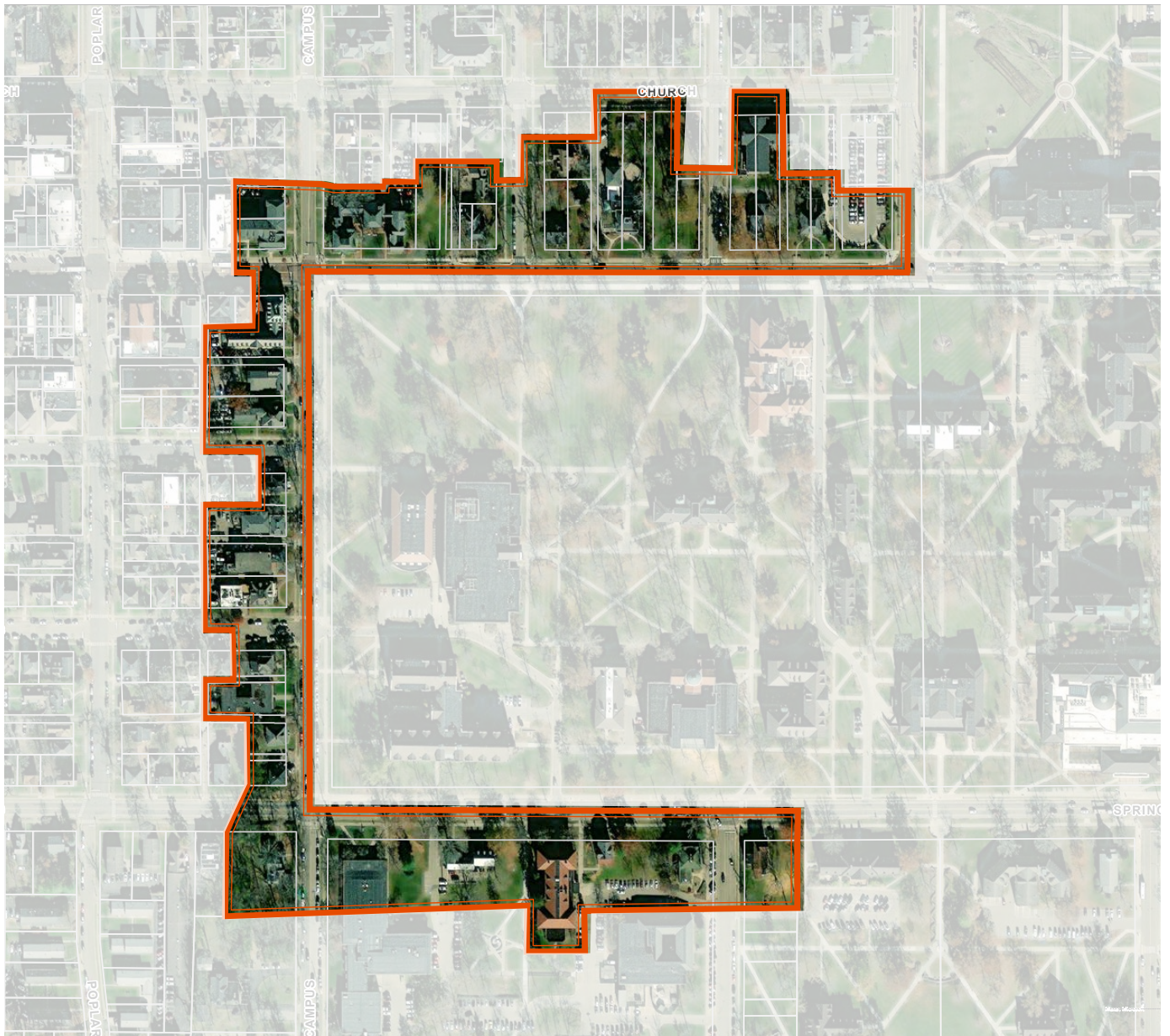
# Map 1. Uptown Historic District

City of Oxford, OH



Basemap Source: Data.ohio.gov, Data Source: City of Oxford, 2025, McKenna 2025.





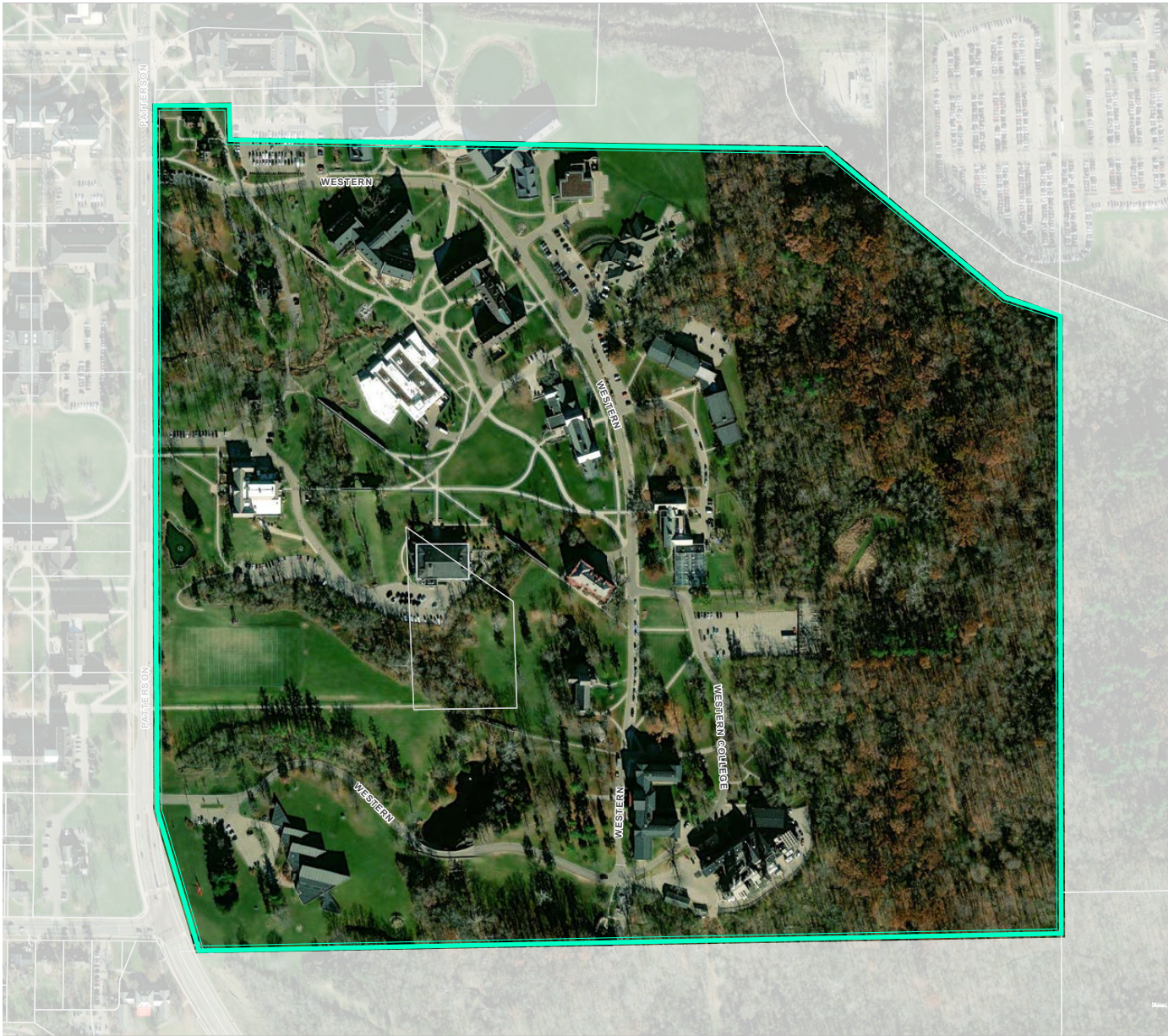
## Map 2. University Historic District

City of Oxford, OH



Basemap Source: Data.ohio.gov. Data Source:  
City of Oxford, 2025. McKenna 2025.





### Map 3. Western Historic District

City of Oxford, OH



Basemap Source: Data.ohio.gov, Data Source: City of Oxford, 2025, McKenna 2025.



# 02



# Existing Conditions



The City of Oxford is a community in northwest Butler County located in southwest Ohio. Oxford, a city of approximately 23,000 full-time residents, is also home to Miami University.<sup>1</sup> The presence of Miami University has a unique impact on the community with its almost 19,000 enrolled students.<sup>2</sup> The University is one of the City's largest employers and a significant economic engine for both the city and region. However, the seasonal and transient nature of the University presents a unique challenge for the city and its preservation efforts.

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1 United States Census Bureau, "Oxford city, Ohio QuickFacts," accessed March 20, 2025, <https://www.census.gov/quickfacts/fact/table/oxfordcityohio/POP010220#POP010220>.

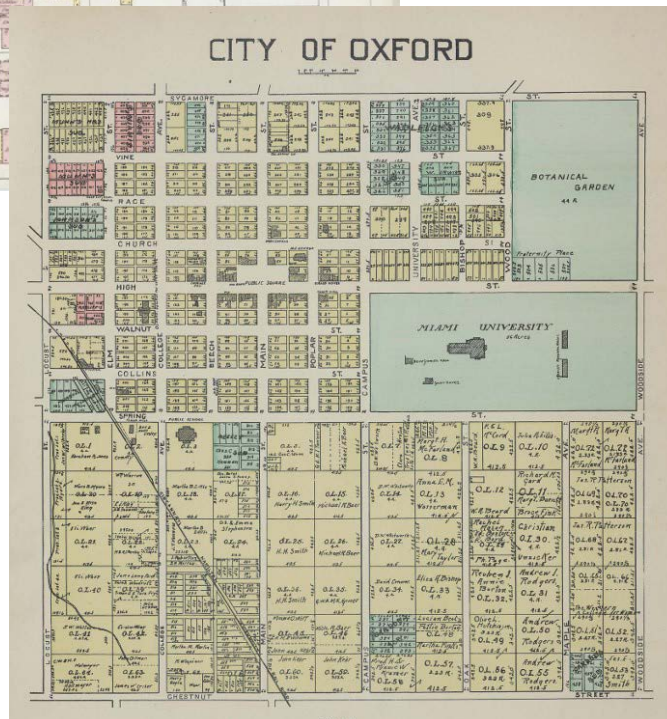
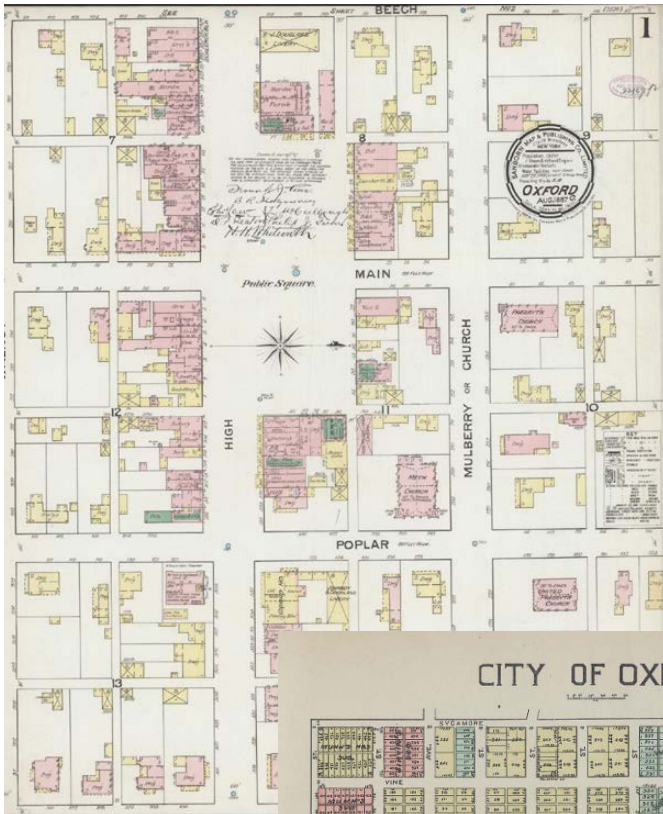
2 Miami University, "Quick Facts," accessed March 20, 2025, <https://miamioh.edu/about/quick-facts/index.html>.

# History of the City of Oxford

The City of Oxford and Miami University have been deeply intertwined since their founding. Chartered in 1809, Miami University was platted in the woodland formerly inhabited by the Myaamia (Miami) Tribe. Prompted by the University's arrival, one year later, Oxford was laid out as one square mile directly adjacent to the University.



By 1830, the resident population was over 700 and the Village of Oxford was incorporated. By 1849, female institutes for higher education arrived in Oxford with the Oxford Female Institute. Then in 1853, the Western Female Seminary was chartered. One year later, the Oxford Female College was chartered. In 1867, the Oxford Female Institute and the Oxford Female College merged to become the Oxford College for Women. This building is now known as the Oxford Community Arts Center at 10 South College Avenue. The Western Female Seminary eventually became the Western College for Women. This campus is recognized as the Western Historic District.



Over the next forty years the Village of Oxford saw increased growth due to its educational institutions. This growth could be seen in the further development of Oxford's commercial and residential corridor known as Uptown.

Oxford became a city in 1971, and its Historic and Architectural Preservation Commission (HAPC) was created by Oxford City Council in October of 1979 (Ordinance No. 1544). Despite Oxford's growth, the historic character of the city is still clearly reflected in the architectural and environmental design.

# Historic Districts

The City of Oxford has designated three historic districts that are administered by the Community Development Department and the Historic and Architectural Preservation Commission (HAPC).

## Uptown Historic District

The Uptown Historic District lies to the north in the central portion of the City and is described as a “roughly eight block area including properties that front the portions of East-West Streets: Church, High, and Walnut as well as portions of North-South Streets: College, Main, and Poplar.”<sup>1</sup> This residential and commercial historic district was locally designated in 1987. The structures that are contributing to the historic district have varying residential, commercial, civil, and religious functions. Their architectural styles include, but are not limited to:

- » Federal
- » Georgian Revival
- » Greek Revival
- » Neoclassical
- » Gothic
- » Queen Anne
- » Italianate
- » Colonial Revival
- » Modern

The Uptown Historic District is not listed in the National Register of Historic Places; however, structures found within the historic district have been individually listed. The Dr. William S. Alexander House (1869) at 22 North College Avenue was designated in 1987 under National Register Criterion A, B, and C for its contributions to architecture and social history and its connection to Dr. Alexander.<sup>2</sup> The Oxford Female Institute (1850) on the corner of High Street and College Avenue was designated in 1976 under Criterion A for its contribution to social history through education.



<sup>1</sup> City of Oxford and Oxford Historic and Architectural Preservation Commission, “Uptown Historic District Inventory,” (Oxford, OH, 2018), 2.

<sup>2</sup> All properties listed in the National Register of Historic Places are nominated for their historic significance. In order to determine the types of significance and which apply to a property, the National Park Service has created the National Register Criteria for Evaluation. This document lists four criterion A-D which can demonstrate significance. A property may be eligible for nomination in the National Register of Historic Places under Criterion A if it is associated with events that have made significant contributions to the broad patterns of our history. Criterion B- is associated with the lives of persons significant in our past. Criterion C- Embodies the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or represent a significant and distinguishable entity whose components lack individual distinction. Criterion D- Have yielded or may be likely to yield, information important in prehistory or history.

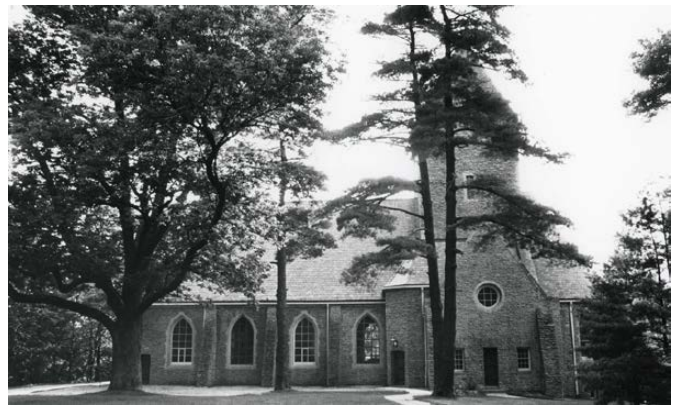
## University Historic District

Located east of the Uptown Historic District is the University Historic District. This district refers to the buildings on and surrounding the Miami University campus. The district's boundaries include East Church Street and East Spring Street as well as Campus Avenue. The University Historic District was locally designated in 1979. The district's contributing structures have educational and residential functions. Multiple fraternal homes are found throughout the district. The University Historic District possesses largely Georgian and Federal architectural styles. While not listed in the National Register of Historic Places, the University Historic District has individual structures within the district that are listed. Elliott and Stoddard Halls (1829, 1835) were designated in 1973. The William H. McGuffey House (1832-33) was designated in 1966. The structures located within the University Historic District are partially owned by Miami University and the City of Oxford.



## Western Historic District

The Western Historic District refers to the Western College for Women campus located to the southeast of Miami University. The district includes structures west of South Patterson Avenue and along Western Drive. The entire Western Historic District was designated in the National Register of Historic Places in 1979 with fourteen contributing structures. These structures have functional and educational uses and are built in the Greek Revival, Neoclassical, Colonial Revival, and Gothic architectural styles. The Western Historic District was locally designated in 1995. Miami University owns the entirety of the Western Historic District.



# The City of Oxford's Architectural Styles

The following is a summary of the most prominent architectural styles found through the City of Oxford's designated historic districts.

## Georgian and Georgian Revival

The Georgian style was most prominent in the United States from 1700–1780, however local examples of the style were still being used by 1830. Identifying features of the style include paneled doors with window decorative crowns and pilasters, paned transoms and sidelights, cornices with molding and dentils, double-hung windows with many small panes, thick muntins, dual chimneys, cupola and symmetry.

*Peabody Hall on the Miami University Western Campus is an example of the Georgian style with its symmetry, classical columns, pilasters, pediments, and paned double-hung windows.*



*2 South Campus Avenue with its wide, square block footprint, symmetry, paned double-hung windows, dentils, pedimented dormers and doors, pilasters, cupola, and dual chimneys demonstrates the Georgian Revival architectural style.*



## Federal

The Federal style is similar to its Georgian predecessor; however, this style was popularized from 1780–1820 with local examples of the style still used by 1840. The identifying features of the style include semi-circular or elliptical fanlights placed over doors, elaborate door surrounds with decorative crowns or entry porches, cornice with moldings and dentils, double-hung windows with slender muntins, Palladian windows, and symmetry.

*David Magie House at 15 North Beech Street is reflective of the Federal style through its rectangular footprint, side gable roof, dual chimneys, dentils, transom, five-ranked fenestration pattern, and symmetry.*



## Greek Revival

The Greek Revival style was used in the early to mid-nineteenth century as a result of the diminished ties with England after the War of 1812. The style is identified by a low-pitch gable roof, wide cornice and trim, entry or full-width porches supported by columns (usually Doric), narrow sidelight windows, and a rectangular transom.

*The low-pitch gable roof, wide band of trim forming a pediment, and symmetry of the Bethel AME Church at 14 South Beech Street solidify it as an example of the Greek Revival Style.*



## Gothic

The Gothic Revival style or more commonly shortened to Gothic style, was popularized in the United States from 1840–1880. This style is very recognizable due to its steeply pitched roof and cross gables, “gingerbread” or decorative vergeboard in the gables, fenestration with gothic arches, pinnacles, turrets, and battlements.



*St. Mary's Roman Catholic Church at 111 East High Street reflects the Gothic style through its gothic arches, turret, and battlements.*

## Italianate

The Italianate style was popular from 1840–1885. The identifying features of the Italianate style include its two–three stories, eave overhang, brackets, tall and narrow windows, arched or segmental window crowns, and cupola. The townhouse and commercial forms of the style utilize a flat or low-pitched roof.



*11 West High Street (center) is an example of the Italianate style through its narrow and rounded windows, window crowns, and bracketed cornice.*

## Queen Anne

The Queen Anne style was most prominent from 1880–1910. The style is known for its steeply pitched roof of irregular shape, patterned shingles, asymmetry, partial or full-width porch, decorative porch spindles, and its multiple elements or ornaments and texture.



*The Beckett House at 210 West High Street is built in the Queen Anne style with its steeply pitched roof, irregularly shaped roof, asymmetry, full-width porch, and ornamentation.*

## Colonial Revival

The Colonial Revival style was used from 1880–1955 to reincorporate traditional designs in the United States. This style revives elements found in the Georgian and Federal styles. The Colonial Revival style is identified by its accentuated front door, pediments, pilasters, columns, entry porches, fanlights, sidelights, and symmetry.



*The entry porch, slender columns, symmetry, pedimented entrance and dormers, and palladian details help to identify 116 West Church Street as the Colonial Revival style.*


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# 03



# Standards for the Treatment of Historic Properties



The Secretary of the Interior has created federally accepted standards for the treatment of historic properties. These standards are meant to provide guidance to historic building owners and building managers, preservation consultants, architects, contractors, and project reviewers prior to beginning work. There are four treatments for historic properties:

- » Preservation;
- » Rehabilitation;
- » Restoration; and
- » Reconstruction.

Each preservation treatment has its own set of standards to be referenced during associated projects. The definitions of the four preservation treatments are explained in detail below.

## Preservation

The act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment. The Standards for Preservation require retention of the greatest amount of historic fabric along with the building's historic form.

## Rehabilitation

The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. The Standards for Rehabilitation acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character.

## Restoration

The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The Standards for Restoration allow for the depiction of a building at a particular time in its history by preserving materials, features, finishes, and spaces from its period of significance and removing those from other periods.

## Reconstruction

The act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. The Standards for Reconstruction establish a framework for recreating a vanished or non-surviving building with new materials, primarily for interpretive purposes.

# Application to the City of Oxford

For alterations, additions, and compatible new construction in Oxford's historic districts, The Standards for Rehabilitation are most suitable. This treatment also acts as an economic development tool to create new commercial uses for historic buildings. By utilizing widely accepted standards, such as the Secretary of the Interior's Standards for Rehabilitation, the HAPC will be able to easily defend their decisions and findings for historic properties. As a result, the Design Guidelines enumerated in this document rely heavily on the national standards created by the National Parks Service which are followed by Historic District Commissions across the country.

## The Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic



# 04





# Design Guidelines: A to Z

## How to Apply Design Guidelines

The City of Oxford's Historic District Design Guidelines help to protect the overall character of Oxford by preserving architectural styles, details, ornamentation, and streetscape elements that define the community's unique character. They help guide appropriate rehabilitation work and alterations of existing buildings. For additions and new construction, the guidelines emphasize compatibility with a district's existing historic character. Oftentimes more than one guideline may apply to a project.

The existence of other historically inconsistent work in the area is not a basis for approval of another inconsistent feature. Such inconsistent work often predates design guidelines or has special circumstances deliberated upon by the HAPC. Following these design guidelines does not constitute HAPC approval; a COA application is still required for all alterations, additions, new construction, and demolition.

# ADA Compliance

ADA Compliance refers to the Americans with Disabilities Act (ADA) passed in 1990. Under Title III of the ADA, access to public accommodations is a civil right. Providing access to historic properties is a careful balance to ensure compliance with ADA requirements and preservation of character-defining features. Preservation Briefs #32 Making Historic Properties Accessible published by the National Park Service recommends a three-step approach when implementing accessibility modifications:

1. Review the historical significance of the property and identify character-defining features
2. Assess the property's existing and required level of accessibility
3. Evaluate accessibility options within a preservation context

While in the planning phase, it is important to consider this three-step approach and seek assistance from the HAPC. Typical means of ADA compliant egress to historic properties are at-grade entries, ramps, or lifts.

## Guidelines

1. Provide barrier-free access in such a manner that the historic character-defining features, interior spaces, features, and finishes are preserved or impacted as little as possible.
2. Generally, access should be provided through a primary entrance through regrading, however if this is not possible, reversible, or negatively impacts character-defining features, lift or ramp means shall be used.
3. Ramps or lifts should be located at secondary elevations to minimize visual impact on the main facade.
4. Ramp and lift designs should be simple and unobtrusive while complying with ADA standards. The contemporary materials should not try to mimic historic materials or designs therefore being distinguishable from other historic features.
5. Avoid unpainted and pressure-treated wood for ramp construction. This appears too temporary and is not compatible with most historic properties.
6. Lifts should be installed as inconspicuously as possible when it is necessary to locate it on a primary elevation.
7. All ADA alterations should be built with the ability to be removed in the future.

## Further Reading

- [\*Preservation Briefs 32: Making Historic Properties Accessible\*](#)

*Appropriate ramp at 22 N College Avenue. Notice its location on a secondary elevation, simple design, and compatibility with the original structure.*



# Additions

Building additions may be necessary to extend the continued use of a property. Additions built in the historic districts can be appropriate when they are compatible with the original structure and the character of the district. Additions should respect the massing, scale, materials, fenestration, and color of the original building, but should clearly be distinguishable as a contemporary addition. For proposed additions within the historic districts, the HAPC will make a determination of compatibility with existing structures and the district.

## Guidelines

1. Additions should be placed on secondary or non-character-defining elevations, typically the rear to prevent the loss of historic materials and ensure character-defining features are not obscured, damaged, or destroyed.
2. Additions should be compatible with the historic building but ultimately secondary and subordinate. The addition should be compatible in massing, scale, materials, fenestration, and color in a manner that does not duplicate the original building but distinguishes it as an addition.
3. The fenestration size and pattern across the addition must be based on that of the historic building. The ratio of window area to solid wall for all facades should be comparable.
4. A simple, recessed, and small-scale hyphen or connection can be used to physically and visually separate the addition from the historic building. The addition should be set back from the original building's wall plane.
5. The design of the addition must be stylistically appropriate for the historic building type and its function. It must also be appropriate in relationship to the historic district, neighborhood, and setting.
6. The height of the addition should be lower and the width narrower than that of the primary building.



Appropriate additions.  
*Grand Rapids MI Design Guidelines, page 83.*

7. Additions should not project closer to the street than the primary structure.
8. Roof forms and pitch should be consistent with the historic structure or be appropriate for the style of the structure. Additions shall not result in the changes to the shape and pitch of the primary roof.
9. Additions should be clearly distinguishable from the original structure and reversible. If the addition was to be removed, the form and integrity of the original structure should be unimpaired.
10. Rooftop additions shall not be constructed on low-rise, 1-3 story historic buildings.

## Further Reading

- *Preservation Briefs 14: Exterior Additions to Historic Buildings: Preservation Concerns*



Appropriate example of an addition at 16 S College Avenue. Notice its location on the rear of the building and how it does not extend past the original building's footprint.

# Awnings & Canopies

Awnings and canopies have historically been used for multiple functional, aesthetic, and advertisement purposes. Awnings and canopies act as climate control, reducing the amount of sunlight entering a building and providing shelter and shade from inclement weather conditions. The design of these features also has an aesthetic appeal which should be considered when placed within a historic district.

## Guidelines

1. Awnings and canopies should be flat, downward sloping at a sharp angle. The selection of open-end versus closed-end awnings should be historically based.
2. Each opening, door or window, should have its own awning, rather than a single full-width awning covering the entire facade.
3. Awnings and canopies should be proportional in size and shape to the opening or area that they are covering. Avoid irregular shapes or styles.
4. Soft, pliable materials are encouraged. Metal or other similar materials are not recommended.
5. Fabric awnings should have a matte finish rather than a glossy surface.
6. Awning colors should complement the building and be historically appropriate colors used on the building. Avoid overly ornate patterns and too many colors. A simple pattern using no more than two colors is preferred. If there is no historic imagery depicting the color of the awning, solid, dark colors are preferred.
7. Retractable awnings and canopies are encouraged, as they can be closed in the winter months to allow more sunlight into an establishment.
8. Avoid fixed, permanent canopies unless it can be historically documented that it existed in the past. Ensure the canopy design is compatible with the original character of the building and the district.
9. Install the frame and awning in a manner that historic trim and character-defining features are not obscured or destroyed.
10. Awnings and canopies must be designed without ground supporting members which will attach to a public sidewalk. Install awning supports through mortar joints, not through masonry units.
11. The Zoning and Building Codes should be consulted for other specific requirements.

## Further Reading

- ▶ *Preservation Briefs 44: The Use of Awnings on Historic Buildings: Repair, Replacement, and New Design*

# Chimneys & Flues

Chimneys and flues are essential features for ventilation but also act as character-defining features on a building's roofline. A chimney's material, design, and placement can act as important indicators of a building's architectural style and even original floor plan. Nineteenth and early twentieth century buildings typically had brick masonry chimneys, which is demonstrated in Oxford's Uptown Historic District among its residential structures.

## Guidelines

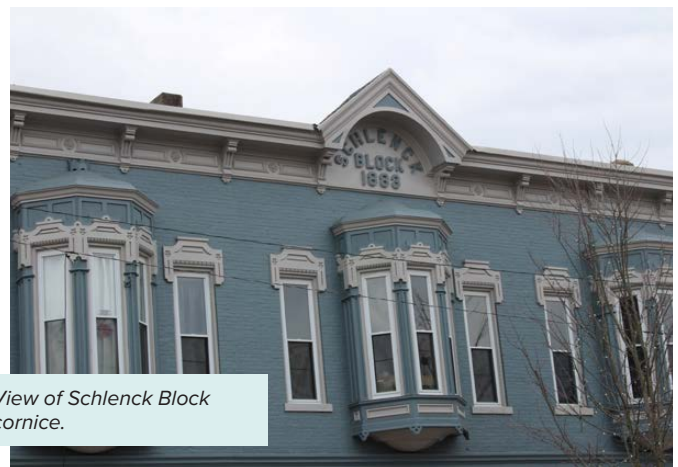
1. Working chimneys should be cleaned regularly.
2. The mortar of masonry chimneys should be inspected and repaired annually for any breaks, leaks, etc.
3. Original chimneys and flues should be retained during any roof maintenance or preservation work.
4. Chimneys should be consistent with the period of the building. Deteriorated or absent chimneys should be repaired or restored based on historical evidence.
5. Where a new building is designed with chimneys or where a chimney is to be added to an existing structure, brick is the preferred material.
6. Avoid adding chimneys or flues in an attempt to make a structure appear more historic.
7. Any unshathed stovepipes or metal chimneys should be placed away from visible facades.

# Cornices, Friezes, & Parapets

When identifying character-defining features, cornices, friezes, and parapets are a must. A cornice is an ornamental molding along the top of a building or wall. A frieze is any plain or decorative band or board on the top of a wall immediately below the cornice. Finally, a parapet is the portion of an exterior wall that rises entirely above the roof, usually in the form of a low retaining wall. These features are typically placed on the primary elevation or facade and act as historic ornamentation. With their status as core character-defining features, cornices, friezes, and parapets should be preserved and protected when performing other maintenance work.

## Guidelines

1. Architectural elements such as cornices, friezes and parapets that have deteriorated should be repaired rather than replaced. If this is not possible, the decorative element should match the original design and its historic materials.
2. Permanently removing a damaged feature when it can be repaired is prohibited.
3. Avoid adding cornice or frieze elements that were not original to the building.
4. Cornices, friezes and parapets should not be covered by substitute materials or by additional architectural features such as awnings, especially on the front elevation or facade.
5. Cornice, friezes, and parapets should be undisturbed during other maintenance or preservation work, particularly to masonry or siding.



View of Schlenck Block cornice.

# Demolition & Demolition by Neglect

The regulatory authority provided by the City of Oxford Historic District Ordinance protects structures in the historic districts from demolition. Demolition can be approved in specific circumstances; however, it should only be considered as a last resort. Demolition by neglect refers to the conscious, long-term neglect of a building to the point that demolition becomes necessary due to its status as a public safety hazard. This is unfortunately a common practice used by building owners to skirt historic preservation ordinances and laws and immediately replace historic structures with new construction. Those who participate in demolition by neglect may believe new construction to be more cost-effective and energy-efficient; however, this has been proven to be false. Demolition by neglect will not be tolerated in Oxford's historic districts.

## Guidelines

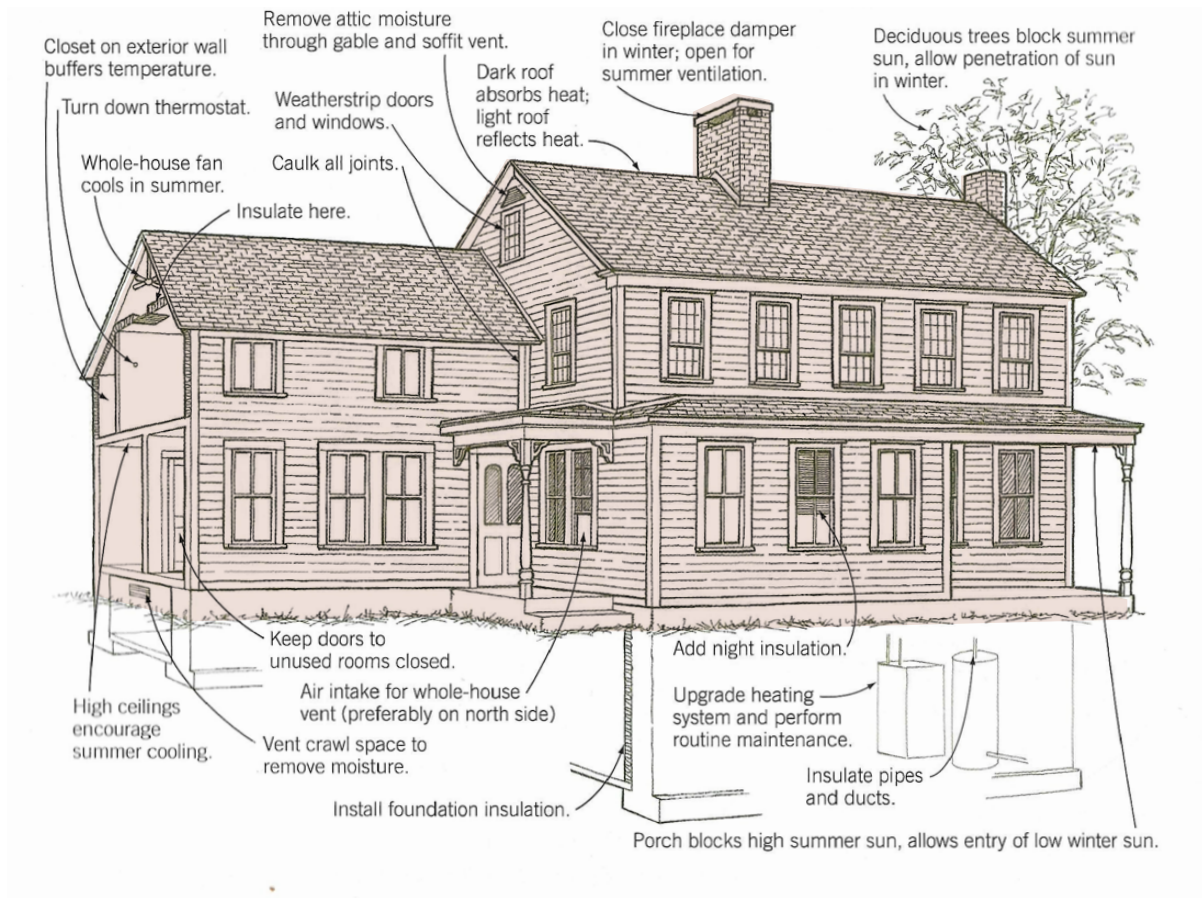
1. Demolition within the historic districts is discouraged. Every option should be explored before a decision is made to seek demolition. Review the City of Oxford's Demolition Review and Requirements of the Codified Ordinances before considering demolition.
2. Demolition may be approved if one of the following is satisfied:
  - a) The applicant has given clear evidence that the structure has incurred extensive damage to its basic structural elements such as roof, wall, and foundation requiring substantial reconstruction, and the structure presents an immediate danger to the public health, safety, or welfare as declared by the Chief Building Official (condemnation) but that such damage was not done through neglect of the property by the owner or former owners.
  - b) The demolition is proposed for a structure that is identified as non-contributing in an adopted historic inventory of the applicable zoning district. The structure is not consistent with others in the district in terms of historic character, architectural style, construction material, height, setback, or mass. The removal of the structure will not adversely effect the architectural or historic integrity of the streetscape, and the proposed replacement will better suit the character of the district.
  - c) The demolition is proposed for a contributing structure that meets one of the following:
    - i) The applicant must demonstrate that the costs to rehabilitate or renovate the structure for purposeful use exceeds fifty percent of the fair market value.
    - ii) An individual or entity that is not a member of the HAPC has assessed the financial feasibility of renovating the structure and has provided a negative feasibility analysis.
    - iii) The damage was not incurred to the neglect by the owner or previous owners.
3. Demolition is prohibited in cases of demolition by neglect. See 1152.09 in the Codified Ordinance of the City of Oxford for conditions deemed as demolition by neglect. In cases of demolition by neglect, the HAPC has the right to require the owner of the property to repair all conditions contributing to demolition by neglect. If the owner does not make repairs within a reasonable time, the HAPC or its agents may enter the property and make such repairs necessary to prevent demolition by neglect. The cost of the work shall be charged to the owner and may be levied by the local unit as a special assessment against the property.

# Energy Efficiency & Solar Panels

Energy efficiency is a significant concern for historic buildings as energy efficiency methods should not damage a building's character but should also be effective and modern enough for the building to remain competitive and desirable. Energy efficiency measures can be taken in the historic districts with and without the use of new technologies.

## Energy Efficiency Guidelines

1. Retain and preserve the inherent energy-conserving features of historic buildings and their sites, including shade trees, porches and operable windows, transoms, skylights, cupolas, shutters, and blinds.
2. Increase the thermal efficiency of historic buildings by observing traditional practices such as weatherstripping and caulking, and by introducing appropriate energy-efficient features such as storm windows and doors and solar panels.
3. Replace deteriorated or missing wooden blinds or shutters with matching new units sized to fit the opening. Historic photo evidence must prove the presence and design of shutters and blinds previously installed on the building.
4. Avoid modern window replacements as the claim that they result in major energy savings is not accurate.



*Energy Efficiency Measures on Historic Homes. Renovating Old Houses by George Nash, 2003.*

## Solar Panel Guidelines

1. Freestanding or detached solar collectors should be placed in locations that are not visible from the public right-of-way.
2. Solar panels should be placed on side or rear facing roof surfaces. For sloped roof installations, mount solar panels parallel to and within 8 inches of the roof surface.
3. Wall mounted solar panels should be avoided.
4. The visual impacts of mechanical and service equipment related to solar units should be minimized so they are inconspicuous from the public right-of-way.
5. Solar equipment should be installed in a manner that is reversible and does not permanently alter, damage, or obstruct original building materials or character-defining features.
6. Solar panels should be positioned behind existing architectural features such as parapets, dormers, and chimneys to limit their visibility.
7. Solar panels and their mounting systems should be compatible in color to the established roof materials.

## Further Reading

- ▶ *Preservation Briefs 3: Improving Energy Efficiency in Historic Buildings*



Solar collector placed appropriately near the rear of the roof.

# Entrances & Doors

As they are often the first element that one notices, doors represent a defining aspect of a building's character. The material, design, and detailing of doors can be the result of a building's function. Historic residential doors typically differ from those on historic commercial buildings. With this in mind, reference the Storefront guidelines when proposing work in Oxford's commercial corridor.

## Guidelines

1. Historic entrances should be retained even if they will no longer be used due to a change in the building's function or interior alterations.
2. The historic materials such as the masonry, wood, and metals that encompass an entrance should be protected and maintained through appropriate surface treatments such as cleaning, paint removal, and reapplication of protective coating systems.
3. Original doors, their frame, and their hardware should be retained. If these original elements do not exist, historical documentation should be used to determine its previous appearance. If there is no historical documentation for the building, replacement should consider original door design typical to the age and style of the property and similar properties within the district. Do not over speculate, consider a simplified version of the historic counterparts.
4. Avoid the installation of new door openings.
5. The size and configuration of the door must be in scale with the original.
6. Color should be compatible with the historically appropriate colors already on the building.
7. Surviving original storm doors should be retained.
8. Entrances and doors should be repaired rather than replaced. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated features or missing components when there are surviving prototypes.
9. Entrance and door features should be preserved when working on other features of the building.
10. Avoid treatments that attempt to "dress up" a door or entrance or give it character that was never original.



*Entrance at the Oxford Presbyterian Church (101 North Main) retains its original door and stone frame*

# Fences, Gates, & Walls

Fences, gates, and retaining walls are significant elements of a property's site design and thus should be preserved and maintained. Once an abundant site feature in Oxford, wrought iron and picket fences provided privacy, decoration, and screening techniques for historic properties. Instances of stone retaining walls can be found in the historic district, but especially within the Mile Square.

## Guidelines

1. Building site features such as fences, gates, walls should be retained and preserved as they are important in defining a site's overall historic character.
2. The location of these site features should retain its historic relationship between buildings and the landscape.
3. Site features such as retaining walls should be protected and maintained by ensuring proper drainage, so water does not erode the feature.
4. Site features should be repaired when possible. Repair may include the limited replacement in-kind or with compatible substitute material when there are surviving prototypes.
5. Fencing proposals should be consistent in design, materials, and scale with historic fencing.
6. Wood, iron, or other historic materials are appropriate for fencing and walls. Vinyl, stockade, and chain-link fencing is prohibited, and concrete block walls are not appropriate.
7. When historic documentation is available, historic fencing shall be replicated.
8. Consideration should also be given to alternative screening materials such as shrubbery to provide security and privacy.
9. Wood fencing needs to be treated or painted to help protect it from sun and water damage.
10. Traditional fence forms such as picket fences or plain board fences should be utilized, and they should be kept as low as possible.
11. Fences and walls should be used to screen parking areas, side yards, and back yards. Front fencing should be minimal and low (3-4 feet high) to provide a better view of the structure and to create a more inviting streetscape.
12. The replacement of historic stone walls with new stone walls is discouraged. The degraded stone walls should be rehabilitated without compromising the integrity and character.
13. The design of landscaping, including walls and fences, should address the public rights-of-way.

## Further Reading

- *Preservation Briefs 27: The Maintenance and Repair of Architectural Cast Iron*



# Foundations

Unexposed and exposed foundations are common features in both Oxford's commercial and residential structures. Exposed foundations provide stylistic and character-defining continuity across multiple elevations. When the continuity is broken by differing materials or treatments, it is often blatant from the public right-of-way. Oxford's exposed foundations are typically constructed of limestone, are predominantly 2–5 courses high, and are appropriately screened by landscaping. This foundation precedent should be considered for properties within the historic districts.

## Guidelines

1. Avoid cutting openings in foundation walls to create basement windows on elevations visible from the street.
2. Avoid painting or stuccoing the exterior of the foundation.
3. If original basement windows are to be covered, avoid filling them permanently.
4. While landscaping is encouraged, it should stay 3–5 feet away from building foundations. This includes landscaping material like mulch, excess soil, firewood, etc.
5. The ground should slope away from the foundation, or a perimeter drain should facilitate water runoff from the structure.
6. Downspouts should drain away from a foundation.
7. New residential and commercial construction must not include exposed concrete block or cinder block foundations. If this material is above grade, historically appropriate facing treatment should be applied to the exposed portions of the foundations.
8. Exposed foundations are discouraged for commercial structures in the Uptown Historic District. In instances of foundation exposure from slope, foundational treatments can be applied but must be consistent with the architectural themes of the building.
9. Exposed foundations are encouraged for residential structures across Oxford's three historic districts. The materials, height of exposure, and style should be appropriate to the architectural theme of the building.

## Further Reading

- ▶ *Preservation Briefs 15: Preservation of Historic Concrete*
- ▶ *Preservation Briefs 42: The Maintenance, Repair, and Replacement of Historic Cast Stone*



Appropriate foundation at 117 W Church. Notice the continuous textured surface.

## Garages & Outbuildings

Garages and outbuildings may be needed for the continued use of a property. New garages and outbuildings should be consistent with the Infill/New Construction guidelines and should be compatible with the original structure. Existing garages and outbuildings should be preserved and repaired.

### Guidelines

1. Original outbuildings such as garages, sheds, outhouses, and barns should be repaired and retained.
2. Retain and preserve character-defining materials, features, and details of historic garages and outbuildings, including roofs, exterior materials, windows, and doors.
3. Repair historic character-defining features in-kind.
4. Replace historic character-defining features in-kind that are too deteriorated to repair using physical evidence and historical documentation to guide the new work.
5. New garages or outbuildings for existing or newly constructed buildings should be placed in rear yards or off the alley to not detract from the historic district.
6. New garages and outbuildings should be free-standing. Attachment to another structure is not permitted.
7. The historic relationship between buildings, landscape features and open spaces should be retained.
8. The exterior materials of new garages and outbuildings should be compatible with historic materials appropriate to the main structure and the neighborhood.



*Retained outbuilding.*

## Gardens & Landscaping

Gardens and landscaping are significant aspects of site design. This category encompasses existing and potential natural resources, maintenance, and garden accessories. Several of these topics are covered by other city codes and programs such as the landscaping code, street tree program, and open yard requirements. Consult with City staff before planning a project to learn how the codes will affect the proposal.

### Guidelines

1. Landscaping should respect the architectural design, size, and scale of adjacent structures.
2. Landscaping must be placed 3-5 feet from building foundations.
3. Vacant lots should have proper upkeep and be mowed regularly.
4. The use of trees to provide ground cover and visual relief is encouraged. Existing mature trees should be preserved and maintained.
5. Street trees as defined by the City of Oxford as “trees on land lying between property lines on either side of all streets, avenues, or ways (including alleys) within the City and those abutting a street located in the public right-of-way” are regulated by the City by means of its species, spacing, distance, maintenance, treatment, and removal.
6. Open green space, including landscape areas, should be preserved free of buildings, accessory structures, and patios.
7. Garden structures and objects (trellises, pergolas, fountains, sculptures, art) do not require review unless it meets one or more of the following criteria:
  - a) Attached to permanent footings
  - b) Attached to a building such as a house or garage
  - c) Is visible from the public right-of-way such as streets and sidewalks

# Gutters & Downspouts

Gutters and downspouts are the most appropriate systems to facilitate the movement of rainwater or melting snow from a roof and away from a structure. This drainage system is integral to the preservation of historic structures as it prevents weathering and moisture damage caused by inadequate drainage. The placement and color of gutters and downspouts is significant as it can obstruct and distract from character-defining features such as the cornice and eaves.

## Guidelines

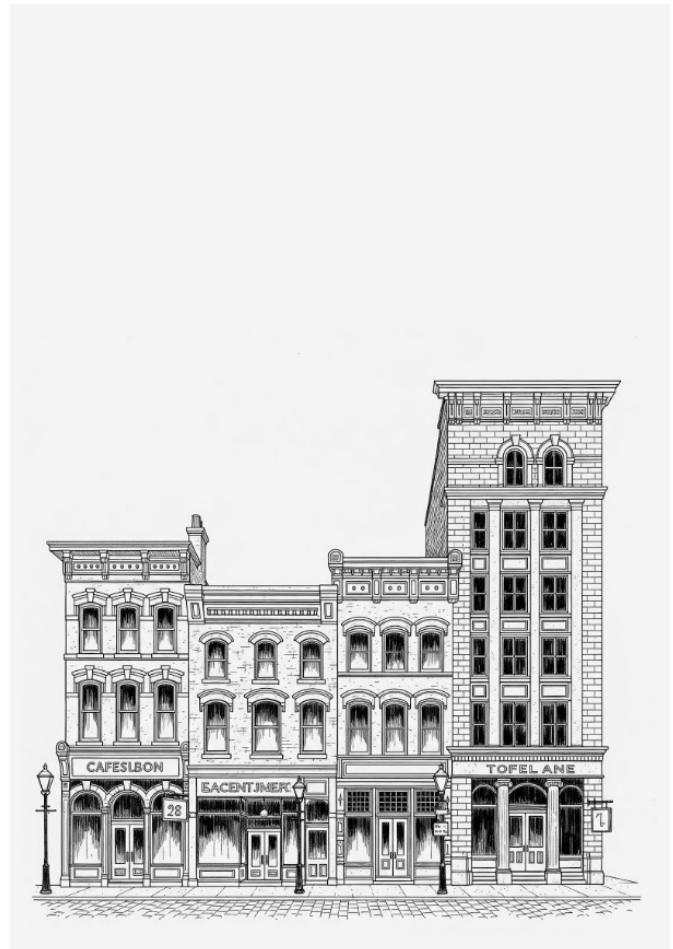
1. All gutters should be regularly cleaned of debris. Gutter screens are recommended.
2. The mortar joints between bricks should be used to fasten the downspouts to the structure rather than drilling into the brick.
3. Historic trim and molding should not be removed or covered in order to install a gutter system.
4. The style, configuration, material, and color should coordinate with the architectural theme of the building or any existing gutters.
5. Gutters should be located to the sides and rear of the structures. The downspouts should be located only at the corners of the structure.
6. Box or Ogee gutter styles are preferred. Round, half-round, or stop gutters should not be used in the historic districts.
7. Downspouts should drain away from the building's foundation.
8. Downspouts are never to be connected to the City sanitary sewer system.

# Height

Reference the Massing guidelines for more information on the three-dimensionality of a structure and consult the Zoning Code for the City of Oxford for specific height regulations.

## Guidelines

1. The height of historic commercial and residential structures and new buildings or additions should conform to the height of the existing building envelope along the adjacent blocks.
2. The height of new construction should not exceed the height of the tallest contributing structure on the same block by more than one story.
3. Buildings on corner lots should relate in setback and height to the structures along both adjacent blocks.



*Inappropriate height considering the surrounding streetscape.*

## Home Security

Residents within the historic districts may be concerned with the security of their property. Interventions can be installed without altering the character of the structure. Reference the design guidelines for Entrances & Doors in tandem with the Home Security guidelines when planning a potential project.

### Guidelines

1. The installation of home security equipment shall not result in the removal of existing character-defining features such as historic light fixtures. Historic light fixtures should be retained and repaired. If deteriorated beyond repair, the fixture should be replicated.
2. New security equipment should be minimally visible from the public right-of-way. Except for doorbell cameras, new equipment should not be installed on the building's primary facade.
3. The use of glass block basement windows is permitted; however, they should not be installed on the facade or street side of the building and should be as unobtrusive as possible.
4. For commercial buildings, roll-down security gates are acceptable provided that they are mounted outside, are recessed, and have a hood covering over the roll. They must also remain open during normal business hours and should be painted to match the structure to which they are attached.

## Infill / New Construction

Designing new construction within the historic districts requires in-depth planning and understanding of the district's architectural character. Infill and new construction should appear contemporary while utilizing elements of design, form, scale, mass, height, setback, fenestration pattern, and architectural details of surrounding historic structures in the district. With these elements in mind, infill construction should not follow a uniform pattern. Variety in design is encouraged to maintain visual interest and avoid a false sense of history.

Each infill proposal will be evaluated by its ability to:

- » Respect and reinforce the established character of the district
- » Contribute positively to the streetscape without visual monotony
- » Clearly differentiate itself from surrounding infill and faux historical designs

Infill and new construction guidelines are not intended to promote the demolition of existing structures in the district, but rather ensure any new construction is complementary to the district.

### Guidelines

1. **Site Plan:**
  - a) Consult the design guidelines for Gardens & Landscaping when considering new construction.
  - b) Retain site features that are important to the overall historic character.
  - c) Retain historic spatial relationships between buildings, landscape features, and open space.
2. **Compatibility:**
  - a) A new building will be designed to be compatible with the historic character of the site, district, and neighborhood.
  - b) The new construction should be obviously new to the observer, but should share elements of design, form, mass, height, scale, and lot coverage with the surrounding neighborhood.
  - c) Architectural details such as eaves, moldings, porches, soffits, and windows should not be replications of historical styles, rather they should be compatible interpretations that utilize materials common in the district.

- d) The new building should vary in design from surrounding infill construction to prevent monotony.

3. **Building Placement:**

- a) The placement of the building should be similar to the placement, orientation, and setbacks of surrounding structures. The placement should reinforce the street wall.
- b) Lot coverage should be similar to surrounding properties.

4. **Form and Mass:**

- a) The building should be similar in form, mass, and lot coverage, and in proportion and scale to other surrounding buildings.
- b) The height of new construction should not exceed the height of the tallest contributing structure on the same block by more than one story.
- c) Roof pitch and form should be similar to surrounding buildings.
- d) The building should reinforce a human-scale through the design of entrances, porches, fenestration, and facades.

5. **Building Width:**

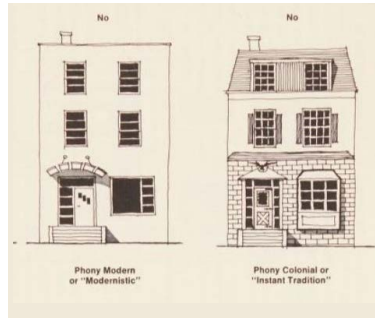
- a) The building width should be similar to other buildings in the district.
- b) If a building is wider than other structures, the facade should be divided into subordinate sizes similar to the width of other buildings in the district.

6. **Facade:**

- a) Facade proportions, including height and width, should be similar to those already in the district.
- b) The primary entrance should be placed on the street side.
- c) If multi-story, the building's facade should incorporate a three-part composition of a base, middle, and top.

7. **Doors and Windows:**

- a) Fenestration patterns should be consistent with the surrounding district and be proportional to the building.
- b) The window-wall ratio should be similar to other buildings in the district.
- c) Windows and doors should be framed in materials similar in scale and character to surrounding buildings.



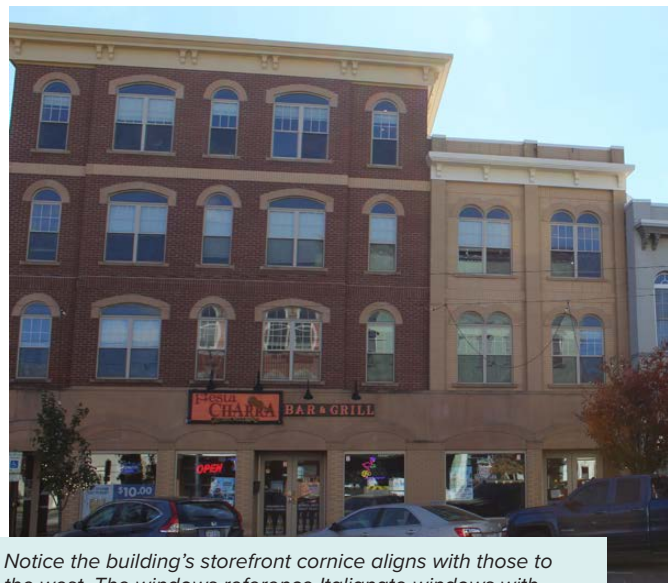
*Inappropriate infill designs. Notice that the designs are not compatible with the district and are faux historical recreations. Infill construction must be recognizable as contemporary. Remodeling Old Houses Without Destroying Their Character by George Stephen, 1972, Page 83.*



*Inappropriate setback of infill construction.*



*Inappropriate scale and building width for infill construction.*



*Notice the building's storefront cornice aligns with those to the west. The windows reference Italianate windows with their rounded ends and window crowns. Finally, the building is topped with a bracketed, overhanging cornice, matching the style and character of the commercial structures surrounding it.*

# Lighting

Lighting refers to exterior lighting located within Oxford's historic districts. Lighting includes, but is not limited to, wall-mounted lights, ceiling lights, pole-mounted lights, streetlights, and any exterior wiring or conduit boxes. Historic light fixtures should be preserved and repaired while new lighting fixtures should be simple and compatible with the character of the building, streetscape, and district.

## Guidelines

1. Historic light fixtures should be repaired rather than replaced.
2. Historic light fixtures that are missing or beyond repair should be replaced in-kind or when not feasible, with new fixtures that are simple, in-scale, and complement the style and character of the building.
3. Lighting should be human-scaled, as well as appropriately scaled to that of the historic building and the surrounding properties in the district.
4. Avoid large and ornate fixtures.
5. Subdued, soft, warm lighting should be used.
6. Lighting should be installed in a manner that the exterior conduit or wiring is not visible and the installation does not damage character-defining features and materials.
7. Security lighting should be located discreetly on a secondary elevation.
8. New street lighting will be compatible with the character of the historic district and streetscapes. Its placement should not detract from the character of the district.

# Masonry

Masonry plays a vital role in the overall character of Oxford, especially in the Uptown Historic District commercial structures and Miami University Historic District. As such, masonry should be considered one of the most important elements to be maintained and preserved within the historic districts. Proper cleaning methods such as low-pressure water, detergent, and soft bristle brushes protect the integrity and color of the brick. Previous cleaning methods, such as sandblasting, have been determined to be detrimental to masonry and mortar joints, resulting in significant damage and expenses. The gentlest means possible must be used on historic and non-historic masonry.

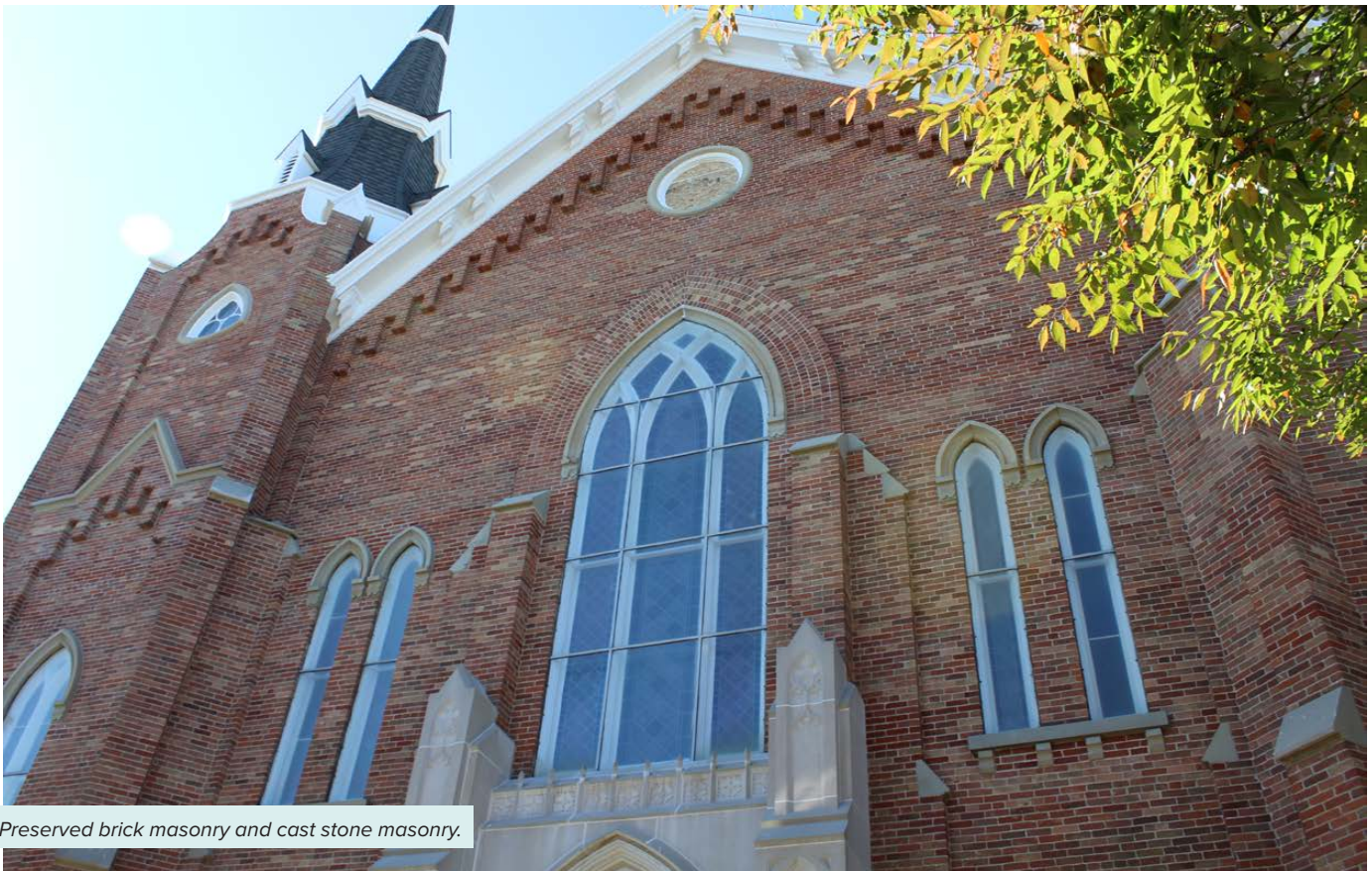
## Guidelines

1. Masonry features, ornaments, bonding patterns, coatings, and colors should be retained and preserved.
2. The original or historic color, finish, and texture of masonry materials should be retained.
3. Masonry should be further protected by ensuring that drainage features and systems divert water away from masonry surfaces.
4. Masonry should only be cleaned when necessary to halt deterioration or remove heavy soiling. Masonry cleaning tests should be done and monitored over a period of time to ensure that little to no masonry damage will occur as a result.
5. Clean soiled masonry surfaces with the gentlest method possible such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.
6. Utilize biodegradable or environmentally safe cleaning or paint removal products. Utilizing a poultice is recommended to safely remove old lead paint as it adheres to the product.
7. When lead paint is not required to be removed, use coatings to encapsulate the paint. This will still meet environmental regulations.
8. Remove damaged or deteriorated paint only to the next sound layer using the gentlest means, such as hand-scraping, before repainting.
9. Avoid the use of abrasive or laser-cleaning methods even for the smallest decorative features.
10. Apply compatible paint coating systems to historically painted masonry following proper surface preparation.

11. When repainting historically painted masonry and masonry features, use colors that are appropriate to the historic character of the building and the district.
12. Protect adjacent materials when cleaning or removing paint from masonry surfaces and features.
13. Masonry walls that have not previously been painted should remain unpainted.
14. Masonry should be repaired by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in-kind or with a compatible substitute material of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes, such as terra-cotta brackets or stone balusters.
15. Masonry walls and features should be repaired and repointed when there is deterioration. Lime mortar should be removed carefully by hand-raking the joints.
16. Historic mortar joints should be duplicated in width, profile, strength, composition, color, and texture when repointing.
17. Inflexible mortars are often inappropriate as they do not allow for expansion and contraction and trap moisture. Soft mortars should be used.
18. Stucco should be retained. When in need of repair, remove the damaged material and patch with new stucco that duplicates the old in strength, composition, color, and texture.
19. Use non-corrosive, stainless steel anchoring systems when replacing damaged stone, concrete, or terra-cotta units that have failed.

## Further Reading

- ▶ **Preservation Briefs 1:** *Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*
- ▶ **Preservation Briefs 2:** *Repointing Mortar Joints in Historic Masonry Buildings*
- ▶ **Preservation Briefs 6:** *Dangers of Abrasive Cleaning to Historic Buildings*
- ▶ **Preservation Briefs 15:** *Preservation of Historic Concrete*
- ▶ **Preservation Briefs 22:** *Preservation and Repair of Historic Stucco*
- ▶ **Preservation Briefs 38:** *Removing Graffiti from Historic Masonry*
- ▶ **Preservation Briefs 42:** *Maintenance, Repair, and Replacement of Historic Cast Stone*



Preserved brick masonry and cast stone masonry.

# Massing

Massing refers to the general shape, form, and size of a structure. It encompasses the structure in three dimensions (height, length, width), not just an outline from a single perspective, such as a shape or plan. Although height is encompassed in massing, this topic has its own guidelines for ease of understanding and to address height regulations found in the Zoning Code for the City of Oxford. Before potential work, review the Height guidelines in relation to the Massing guidelines.

## Guidelines

1. Buildings should be rectilinear in form.
2. The building should be similar in form, mass, and lot coverage, and in proportion and scale to other surrounding buildings.
3. Roof pitch and form should be similar to surrounding buildings.
4. The building should reinforce a human-scale through the design of entrances, porches, fenestration, and facades.
5. The form and mass of new construction should be responsive to the site topography.

# Mothballing

Mothballing refers to the temporary closure of a structure and the necessary process to secure and protect it in the interim. A building owner may decide that mothballing is the correct treatment while planning the property's future or raising money for preservation or rehabilitation efforts. Mothballing still requires a COA to ensure that the mothballing techniques proposed are suitable and effective for the property and will not damage historic and character-defining features.

## Guidelines

1. Mothballing is an appropriate interim control for when rehabilitation efforts are on pause and the level of intervention is to preserve the home or building in-situ as rehabilitation efforts are pending.
2. The architectural and historical significance of the building should first be documented during the mothballing process.
3. A condition assessment should be performed on the building with careful observation to identify exposed areas such as windows, doors, or roof penetrations.
4. A structural engineer or preservation specialist should add bracing or vertical posts to stabilize the building in a manner that does not harm historic materials and finishes.
5. Vermin should be exterminated and possible access points into the building should be sealed.
6. Chimneys and flues should be closed off with exterior grade plywood caps or protected with framed wire screens.
7. Existing vents, grills, and louvers in attics and crawl spaces should be screened with bug mesh or heavy-duty wire.
8. Plywood panels should be applied over doors and window windows to prevent weather, vermin, or water from entering the building. Panels should be screwed in place rather than nailed to prevent damage.
9. Exterior doors should be reinforced with strong locks without damaging or disfiguring historic doors. This can help prevent vandalism.

10. Avoid using patches on slate roofs and tarpaulin as they are temporary solutions.
11. Roof repair such as replacing cracked or missing shingles and tiles, securing loose flashing, and re-anchoring gutters and downspouts should be performed in order to prevent water damage.
12. Masonry repairs should be performed to prevent serious moisture penetration. Repointing should be performed with mortar that matches the historic mortar in composition, color, and tooling. Avoid the use of portland cement mortars or vapor impermeable waterproof coatings.
13. A regular maintenance schedule should be created to check the building's status, air-out the building, and perform site maintenance.

## Further Reading

- ▶ **Preservation Briefs 31:** *Mothballing Historic Buildings*

## Murals

Murals are an increasingly popular public art form that allows for creative expression and vibrancy in the built environment. However, when unregulated, murals have the potential to overwhelm the historic authenticity of the historic districts. Murals are permitted on commercial masonry structures within the historic districts. The HAPC has the authority to approve mural placement and design. Discretion is given by the HAPC to determine the appropriate number of murals allowed within the historic districts.

### Guidelines

1. Refer to the Masonry and Paint & Color Guidelines.
2. Murals shall not be painted on residential structures or wood material.
3. Do not paint masonry, concrete, or stucco which has never been painted before.
4. Where historically painted, use only breathable paints (latex or acrylic latex paints) to allow vapor to escape.
5. Murals may be permitted on a secondary elevation of a contributing or non-contributing commercial structure which has historically been painted.
6. Murals depicting advertisement materials are not permitted.
7. HAPC will approve all mural designs to ensure the content positively contributes to Oxford's streetscape and placemaking endeavors.
8. The property owner must create and carry out a maintenance plan that will be given to the HAPC.

# Ornamentation

Ornamentation helps to establish a historic structure's visual character. Ornamental features include, but are not limited to, lintels, sills, window crowns, columns, porch spindles, gingerbread trim, scalloped shingles, finials, cornice details, handrail details, and decorative motifs.

## Guidelines

1. Elements of architectural ornament should be repaired rather than replaced.
2. Patch, piece-in, splice, consolidate, or otherwise upgrade the existing material using recognized preservation methods whenever possible. Isolated areas of damage may be stabilized or fixed using consolidants. Epoxies and resins may be considered for wood repair.
3. Remove only the portion of detail that has deteriorated and must be replaced. Match the original in material, composition, scale, and finish when replacing materials or features.
4. Repair and replacement of missing or deteriorated features should be based on original designs.
5. When reconstruction of an element is impossible, develop a compatible design that is a simplified interpretation of the original. This should be informed by existing examples of a similar age and style that maintain similar scale, proportion, and material.
6. Avoid adding ornamentation details if they were not historically present on the building or are inappropriate to the architectural style or time of the structure.
7. Ornamentation should remain visible across all possible elevations, especially the facade. Ornamentation should never be covered or wrapped with substitute materials.

## Further Reading

- *Preservation Briefs 27: The Maintenance and Repair of Architectural Cast Iron*



Porch and gable ornamentation at 130 W Church.

# Paint & Color

Color choice is one of the most personal decisions for any property owner. The HAPC does not dictate the color of structures in the historic districts; however, certain colors and color schemes should be considered based on their historical accuracy for certain architectural styles and periods. Color is ultimately the decision of the property owner based on use, location, cost, and additional factors. Garish and fluorescent colors are an exception due to their propensity to cause traffic and pedestrian sight interference. Review the design guidelines on exterior materials such as Masonry and Wood for further instruction on painting. Reference the design guidelines for Murals for artistic painting projects.

## Guidelines

1. Do not paint masonry, concrete, or stucco which has never been painted. This includes architectural features such as stone lintels or sills.
2. For historic structures, use only breathable paints on stucco or masonry.
3. Do not paint historic roof materials unless they were originally painted.
4. Do not use sandblasting or high-pressure water blasting to remove paint from masonry or wood surfaces.
5. Do not paint wood that has historically been stained.
6. Do not use transparent or opaque stains on surfaces which have been historically painted.
7. Building colors should be selected based on documented research of a building's original paint colors. If original colors cannot be identified or are unacceptable to the applicant, alternate colors should be selected according to the time period of the building's construction and its style and design.
8. Typically, historic buildings included a background color that covered the walls or siding, a trim color for windows, doors, corners, and cornice trim, and one additional color for architectural features such as shutters.
9. Bright colors should only be used on the trim and should be related to the chosen background color.
10. No garish or fluorescent colors are permitted in order to prevent pedestrian and traffic sight interference.

## Further Reading

- *Preservation Briefs 10: Exterior Paint Problems on Historic Woodwork*



Appropriate use of color at 28 W High Street. Notice the use of color to highlight architectural detail.

## Parking

Parking is an important amenity in commercial core areas, such as the Uptown Historic District. The Parking guidelines cover the access, location, and appearance of parking areas. Review the Walks, Sidewalks, & Driveways guidelines and the City of Oxford Zoning Code for additional information.

### Guidelines

1. Vehicular access should be visually complementary to the site and building design. It should be secondary to the appearance of the building and should not dominate over the design.
2. Pedestrian and bicycle access and storage should be incorporated into the site design.
3. Parking should be accessed from a side street or alley rather than from the main street. Parking lots or curb cuts in front of a building at the sidewalk should be avoided.
4. The paving of residential front yards is not permitted.
5. Parking areas should be visually screened with landscaping material rather than fences of solid walls.
6. The visual impacts of service and loading areas should be minimized and located at the rear of the building. They should also be screened from the public right-of-way.

## Patios & Decks

Patios and decks provide outdoor living spaces for relaxation and entertainment. Although typically not historic, these elements are permitted within the historic districts so long as they are placed on the rear of a building. Other City Codes also cover Patios and Decks. Consult with City staff before planning a project to learn how the codes will affect the proposal.

### Guidelines

1. The repair or design of decks must respect the historic character of the primary structure in respect to size, materials, railing, detailing, and intrusion into spaces between buildings.
2. Decks and patios should be located to the rear or side of the building in a manner that is subordinate to the primary building and is unobtrusive.
3. Decks and patios should be free-standing and not attached to a historic building or structure to ensure its reversibility.
4. Decks should be architecturally integrated and treated with paint or an opaque stain to match the color of the building or its trim. If the deck is visible from the public right-of-way, it must have a finished surface rather than being raw and untreated.
5. Floor materials should be masonry, wood, or composite deck boards.
6. Railings should be traditional in character, constructed of wood, metal, or another similar material. Vinyl, PVC, and polyurethane should not be used as deck or railing material.
7. The height of decks and patios depends on the foundation height of the structure, the massing, site contours, and visual impact to the surrounding historic environment and district. Patios that are flush with ground will be swiftly approved.
8. Ensure that a deck drains away from the historic resource.

# Porches & Stoops

The components of porches and stoops are significant architectural and character-defining features. Porches and stoops are often the focal point, and their design and ornamentation help to define the style of a building. Unlike many urban areas today, the porches and stoops in the historic districts are heavily used for social functions, demonstrating their significance.

## Guidelines

1. Historic porches should be retained even if they will no longer be used due to a change in the building's function or interior alterations.
2. The historic materials such as the masonry, wood, and metals that encompass the porch should be protected and maintained through appropriate surface treatments such as cleaning, paint removal, and reapplication of protective coating systems.
3. The porch and its decorative elements shall be repaired rather than replaced. This can be done through patching, splicing, consolidation, and otherwise reinforcing using recognized preservation methods. Repair may include the limited replacement in-kind or with a compatible substitute material of those extensively deteriorated features or missing components when there are surviving prototypes such as balustrades, columns, and stairs.
4. When a porch is too deteriorated to repair, replacing in-kind is permissible using the historic and physical evidence as a model to reproduce the features. The color, height, ornamentation, material, roof slope, and width of the original porch should be retained.
5. When there is no historical documentation for the building, a new design must be compatible with the size, scale, material, and color of the historic building. Do not over speculate, consider a simplified version of the district's historic counterparts.
6. If a porch is added where a porch never existed, a simple design should be used.
7. All exposed wood elements should be painted except floors and ceilings, which may be stained or painted. Paint and stain should be compatible with the historically appropriate colors already on the building.
8. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the building or that of its same architectural style.
9. Porches and their features should be preserved when working on other features of the building.
10. Avoid treatments that attempt to "dress up" a porch or give it character that was never original.
11. Enclosing a porch to create an interior space on front elevations is not permitted.
12. Porch steps will have enclosed/solid risers.
13. The style and material of skirting will match the historic skirting, or, where the historic skirting is missing, the new will be compatible with the era, material, and design of the structure.
14. For structures that did not historically have handrails placed along steps, such installations will be reviewed to accommodate safety and accessibility concerns. The design of the handrails will be non-intrusive and simple, taking into consideration the structure's features, design, massing, scale, and spatial relationships.

## Further Reading

- [Preservation Briefs 45: Preserving Historic Wooden Porches](#)



Example of an appropriately preserved porch originally built in 1840 (103 W. Walnut).

# Relocation

Relocation is rarely an acceptable preservation practice as it disrupts a structure's historical integrity. Historical integrity is the authenticity of a property's historic identity and ability to convey its historic significance through seven aspects: location, setting, design, materials, workmanship, feeling, and association. Relocating a property negatively affects a property's locational and setting integrity. Relocation can be authorized for non-contributing structures and in rare cases for historic contributing structures.

## Guidelines

1. All options should be explored and considered before a structure is relocated. Relocation is discouraged but is permitted if there is no other alternative.
2. A non-contributing structure may be relocated within the historic district if the move enhances the character of the overall district.
3. A contributing structure may be relocated within the historic district if the move will allow the retention of other major aspects of historic integrity, result in improved maintenance and provide a new life for the historic structure. The receiving site must provide a suitable and historically appropriate site for the structure.
4. A non-contributing structure or one that has lost architectural integrity due to deterioration and neglect may be relocated outside of the historic district if the proposed replacement will result in a more positive affect on the district.
5. The relocation of a contributing structure in the historic district to outside the historic district is akin to demolition as it results in the loss of the resource and affects the integrity of the environment.
6. A historic structure retaining the majority of its historic integrity may be moved onto a vacant lot in a historic district if the structure is in danger of demolition and would be better protected in the district. This provides appropriate infill that positively contributes to the streetscape. Emphasis must be placed on selecting an appropriate location to ensure compatibility with the existing historic context, site, environment, spatial relationships, architecture, and massing. If the historic structure seeking to be moved is not compatible, it is not permitted to be relocated in the historic district.

## Considerations

- » Is the current location an important character defining feature of the resource?
- » Is the current location an important character defining feature of the district?
- » What role does the site play in the resource and/or district's significance?
- » Is the structure threatened with demolition?
- » Is relocation the only alternative?
- » Is the structure significant enough architecturally Is the structure sound enough to survive the move?
- » Will the introduction of the structure adversely effect the historic character of the district and adjacent structures?
- » Will the structure fit into the era of the district; is its style, architectural quality, size, and scale compatible with the district?
- » Will the move significantly damage contributing historic district site features, such as a tree canopy?



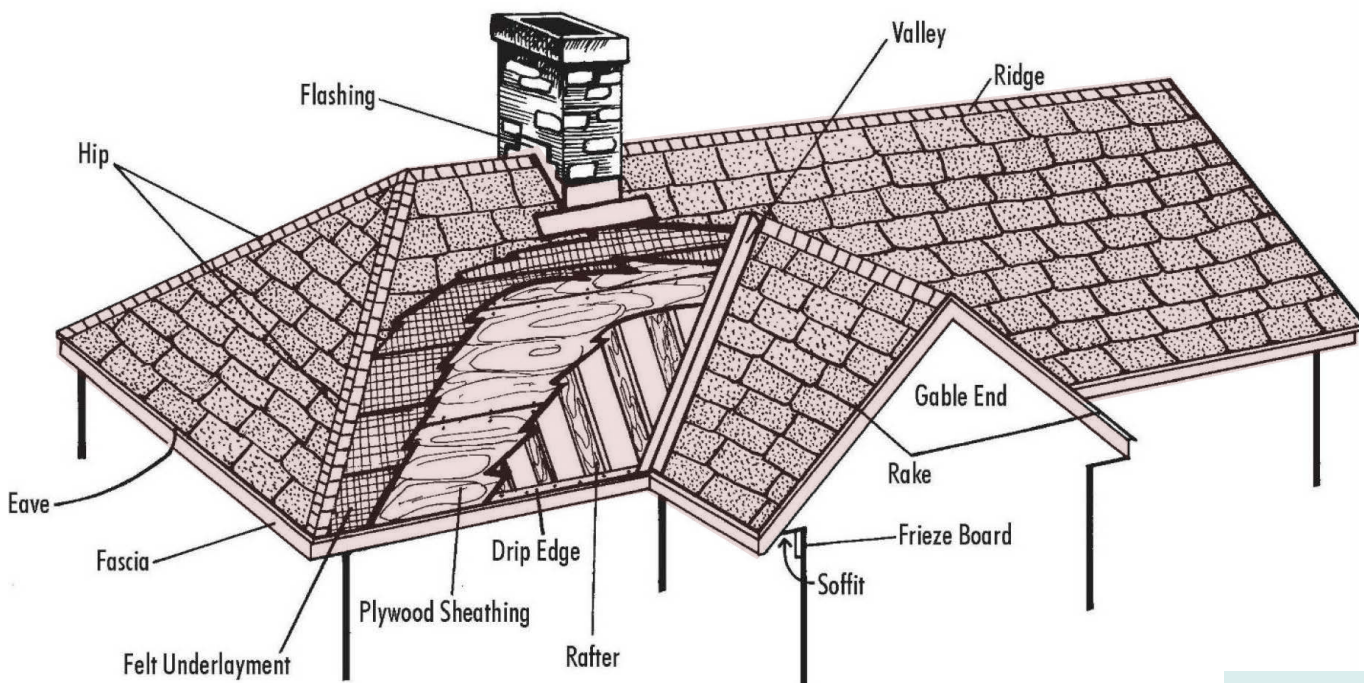
*Relocation of the Oxford Township House*

# Roofs & Roof Accessories

The roof is often one of the most visible parts of any building due to its form, size, and materials. Roof forms can be flat, gable, hipped, pyramidal, gambrel, mansard, or any combination. These forms often help distinguish certain architectural styles and define a building's presence along the streetscape. Roofs in Oxford were historically constructed of slate or wood; however, few examples remain. This solidifies the importance of roof maintenance and preservation.

## Guidelines

1. Retain and preserve roofs and their functional and decorative features that are important in defining the overall historic character of the building.
2. Deteriorated flashing and roof sheathing should be replaced to prevent moisture caused by leaks and condensation.
3. Roofing material should be adequately anchored to prevent wind damage and moisture penetration.
4. Roofing material that was painted historically and requires a protective coating should be repainted with a regularly scheduled maintenance plan. The paint should be compatible with the building and the surrounding district.
5. Roof coverings should be protected when working on other roof features.
6. Roofs should be repaired to ensure they are sound and waterproof. Repair may include the limited replacement in-kind with a compatible substitute material of missing materials on a main roof, as well as the extensively deteriorated or missing components of features when there are surviving prototypes.
7. Corrosion-resistant roof fasteners should be used when repairing a roof.
8. The roof shall be replaced in-kind if the entire roof covering, or feature is too deteriorated to repair. This shall be done using physical evidence or historic documentation as a model to reproduce the feature. If using the same kind of material is not feasible, then a compatible substitute material may be considered.
9. Single roofing tiles or slates shall be replaced rather than replacing the entire roof covering.



Roof anatomy.

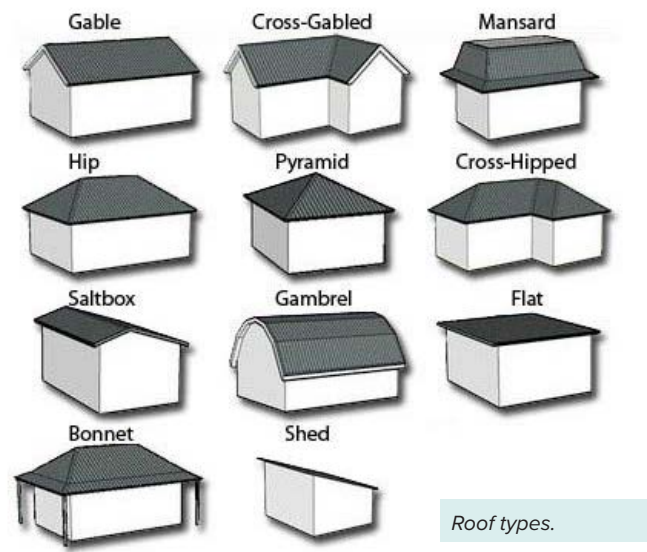
10. Incompatible roof coverings or deteriorated non-historic roof coverings should be replaced with historically accurate roofing material if known, or another material that is compatible with the historic character of the building.
11. For a missing roof or historic feature, such as a dormer, the replacement should be designed based on documentary and physical evidence or may use a new design that is compatible with the size, scale, material, and color of the historic building.
12. Mechanical and service equipment should be installed inconspicuously on the roof so that it cannot be seen from the public right-of-way and does not damage or obscure character-defining historic features.
13. New roof additions and accessories such as terraces, solar panels, dormers, or skylights should be designed to be inconspicuous and minimally visible on the site and from the public right-of-way. New roof additions and accessories should not damage or obscure character-defining historic features.
14. Skylights should be flat and low in profile. They should be installed parallel to the roof plane and the skylight framing should be a color that blends with the roofing material.
15. Avoid complex shingle patterns that try to create a more historic appearance.
16. Preserve the original form of the roof and avoid altering the angle or slope.
17. The original eave depth should be preserved.
18. Avoid using conjectural features on a roof, such as ornamental cresting or finials when there is no evidence that it existed historically.

### Further Reading:

- ▶ *Preservation Briefs 4: Roofing for Historic Buildings*
- ▶ *Preservation Briefs 19: The Repair and Replacement of Historic Wooden Shingle Roofs*
- ▶ *Preservation Briefs 29: The Repair, Replacement, and Maintenance of Slate Roofs*
- ▶ *Preservation Briefs 30: The Preservation and Repair of Historic Clay Tile Roofs*



Appropriate roofing and features such as dormers and cupola.



Roof types.

## Shutters

Although constructed for utilitarian purposes, shutters are now more of a decorative feature on historic buildings. Shutters are character-defining features which provide symmetry and balance across building elevations. The presence of original and operable shutters in Oxford has decreased over time; however, when present, original shutters and replicas should be preserved and repaired.

### Guidelines

1. Historic shutters and their hardware should be preserved and maintained.
2. Deteriorated historic shutters should be repaired rather than replaced. If this is not possible, the shutters should be replaced by new shutters that replicate the design, materials, dimensions, placement, and features of the existing shutters.
3. Missing historic shutters may be recreated using physical evidence or historic documentation to mimic the design, dimensions, placement, and features.
4. New or replacement shutters should be constructed of wood as this was the principal material used in historic shutters. Louvers and bracing should be matched to existing shutters.
5. The use of metal, aluminum, and vinyl materials is not permitted.
6. The installation of shutters should be done in a manner that does not damage historic material or character-defining features.
7. Avoid the introduction of shutters where they were not present historically.
8. Shutters are not required to be operable but should appear so from the public right-of-way.



Appropriate shutters with retained hardware and functionality.

## Siding

Siding is predominantly found on residential structures in Oxford's historic districts. The retention of wood siding contributes to the overall historic character and integrity of the historic districts. When necessary, wood siding should be repaired or replaced with the original building material.

### Guidelines

1. Wood siding should be preserved and should never be covered by secondary materials.
2. Wood siding should be used in one of the traditional forms as found on the building (e.g., shingle, board-and-batten, shiplap, or beveled siding).
3. Cleaning or stripping wooden surfaces with methods such as blasting, power washing, planing, torching, and power sanding shall not be used.
4. Repaired or replacement siding should match the original siding in material, size, style, color, and finish.
5. Avoid aluminum and vinyl siding materials.

### Further Reading

- *Preservation Briefs 47: Maintaining the Exterior of Small and Medium Size Historic Buildings*



Appropriate siding (100 W Church St)

# Signage

Signage is significant for building identification, advertisement, and its contribution to the streetscape. Consult the Zoning Code before potential signage and building identification work.

## Guidelines

1. Signage can act as a character-defining feature and thus should be preserved. Preserve historic painted signs or ghosting where they exist.
2. Signage should be compatible in size, style, material, and appearance to the historic structure and district.
3. Signage should be installed in a manner that is subordinate to the building composition and does not damage or obscure materials or character-defining features.
4. Signage should be mounted within the existing architectural features, using the shape of the sign to help reinforce the horizontal lines of moldings from the streetscape. An appropriate location is typically above the storefront or transom. The placement of signage should align with other commercial structures across the streetscape.
5. Signage should be attached through masonry joints or through materials that can be easily repaired when signage is removed, such as wood.
6. The use of painted signs on window glass or vinyl decal letters is permitted, provided they can be removed without damaging historic materials.
7. Sign graphics and messages should be simple and readable. Sign letters should contrast but complement their background. Signage should complement the overall color scheme of the structure. Avoid overly complex signs that are reflective, use more than four colors, or use fluorescent colors.
8. Appropriate exterior sign materials include wood, stone, metal, and painted glass. Alternative materials will be considered if they are used in a way that replicates historic materials and designs as it relates to texture, finish, profile, and details. Avoid unfinished, pressure-treated wood, or materials that have a rough, unfinished appearance.
9. Exterior lighting is permitted to illuminate signage above the building; however, light fixtures should be compatible and subordinate to the character of the building in scale, style, and material.
10. The installation of multiple signs to advertise for a single business is not permitted.
11. The consolidation of signage for multiple businesses at a single building is permitted.
12. Sandwich board signs and banners are allowed in accordance with the City of Oxford Zoning Code.
13. Address numerals should be attached to all buildings in a manner that is unobtrusive yet easily visible from the public right-of-way. The numerals should be 3-8 inches high and constructed of complementary material to the structure.



*Appropriate signage and lighting.*

# Storefronts

For most historic commercial buildings the storefront is the most important architectural feature. A well-maintained, friendly, and open storefront can do more for businesses than any other architectural feature or ornament. Preserved storefronts also highly impact the streetscape and character of the district. With this in mind, it is important to ensure that new storefronts are compatible with the original building and streetscape.

## Guidelines

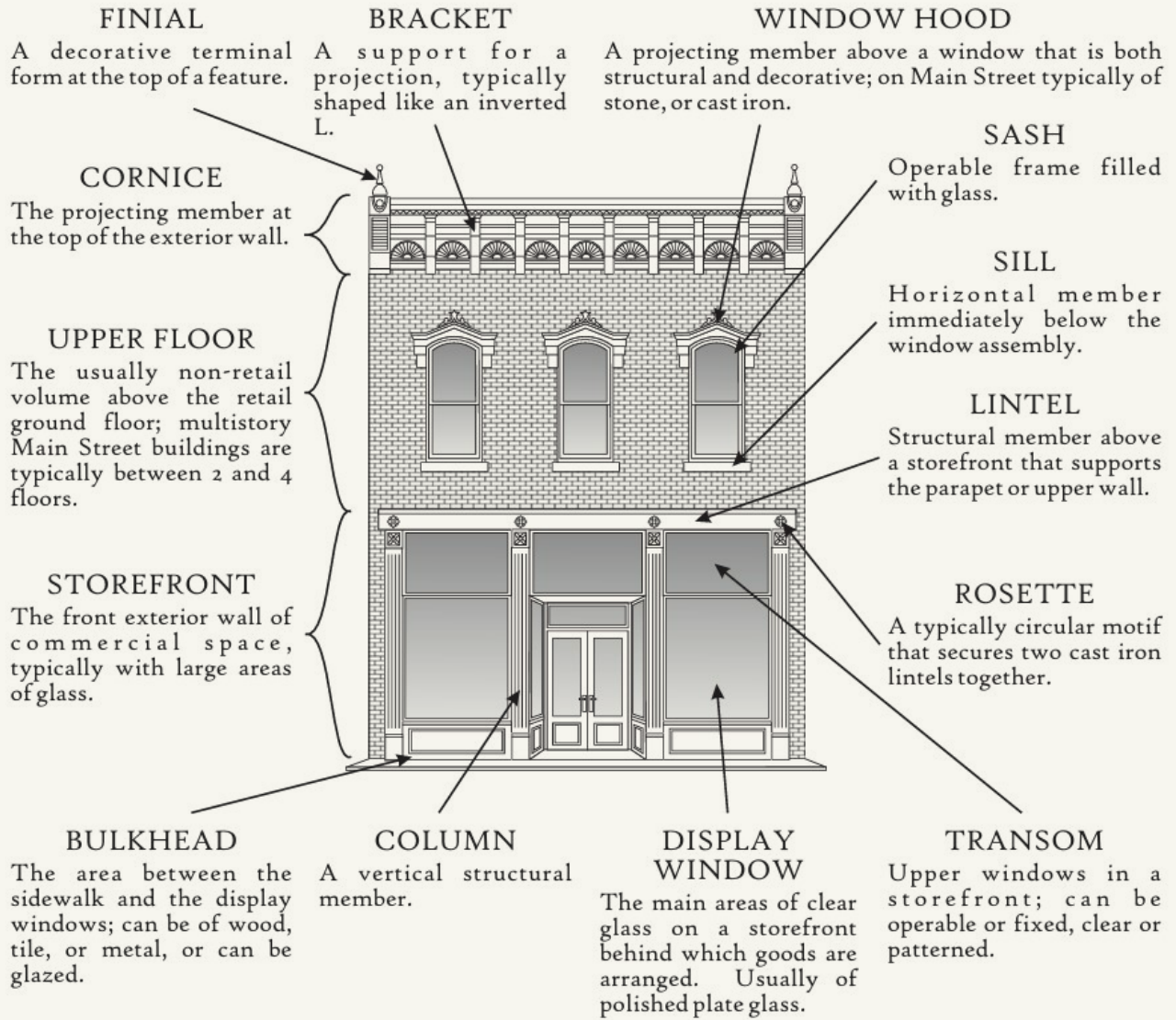
1. Storefronts and their functional and decorative features should be maintained and preserved. Consult the guidelines on Signage and Awnings and Canopies before potential work on storefronts.
2. Historic storefront building materials such as masonry, wood, and metals should be preserved through appropriate treatments, such as reinforcement, cleaning, rust removal, limited paint removal, and reapplication of protective coating systems. Paint removal will be done by the gentlest means possible.
3. Storefront materials and features should be repaired as needed. This may include replacing parts that are deteriorated beyond repair or that are missing with matching or compatible substitute materials. Missing parts must be appropriately replicated utilizing physical or photographic evidence.
4. If an entire storefront is too deteriorated to repair, replace the storefront in-kind using physical evidence to guide the new work.
5. When a historic storefront is completely missing, design and construct a new storefront. It may be an accurate restoration using historical, pictorial, and physical documentation or may be a new design that is compatible with the size, scale, and material of the historic building. New designs should be flush with the facade and be kept as simple as possible.
6. Avoid removing historic material to create a recessed entrance when it is not historically accurate.
7. Changing the location or configuration of the storefront's historic main entry is not permitted.
8. A historic storefront should remain at its historic position at the sidewalk edge.
9. The use of reflective glass that makes it difficult to see into the storefront is not permitted. Storefront windows must use clear glass. Any tinting, shading, coloring, films, or other means of darkening or limiting transparency is not permitted.
10. Interior treatments such as blinds, curtains, drapes, or walls that limit visibility and light into the building are not permitted.
11. Avoid removing paint from wooden storefronts that were historically painted and do not apply clear stains or sealers to create a natural wood appearance.

## Further Reading

- ▶ [Preservation Briefs 11: Rehabilitating Historic Storefronts](#)



*Although not the original design of the storefront, the new design is simple and inviting with large, unobstructed storefront windows.*

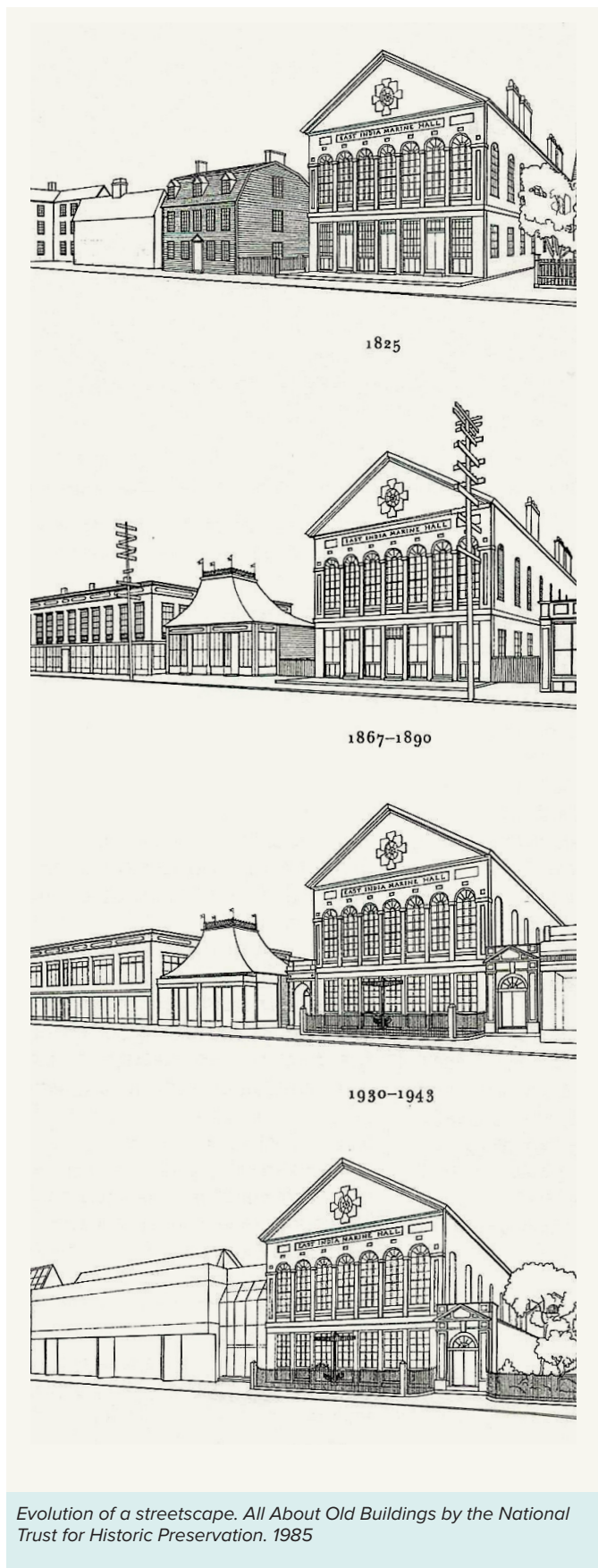


# Streetscape

Streetscape refers to the character of the street and how elements of the street form a cohesive environment. These guidelines apply to existing historical structures and new construction in the commercial corridor. When working in the Uptown Historic District's commercial corridor, review the City of Oxford's Zoning Code as specific regulations pertaining to the streetscape are present.

## Guidelines

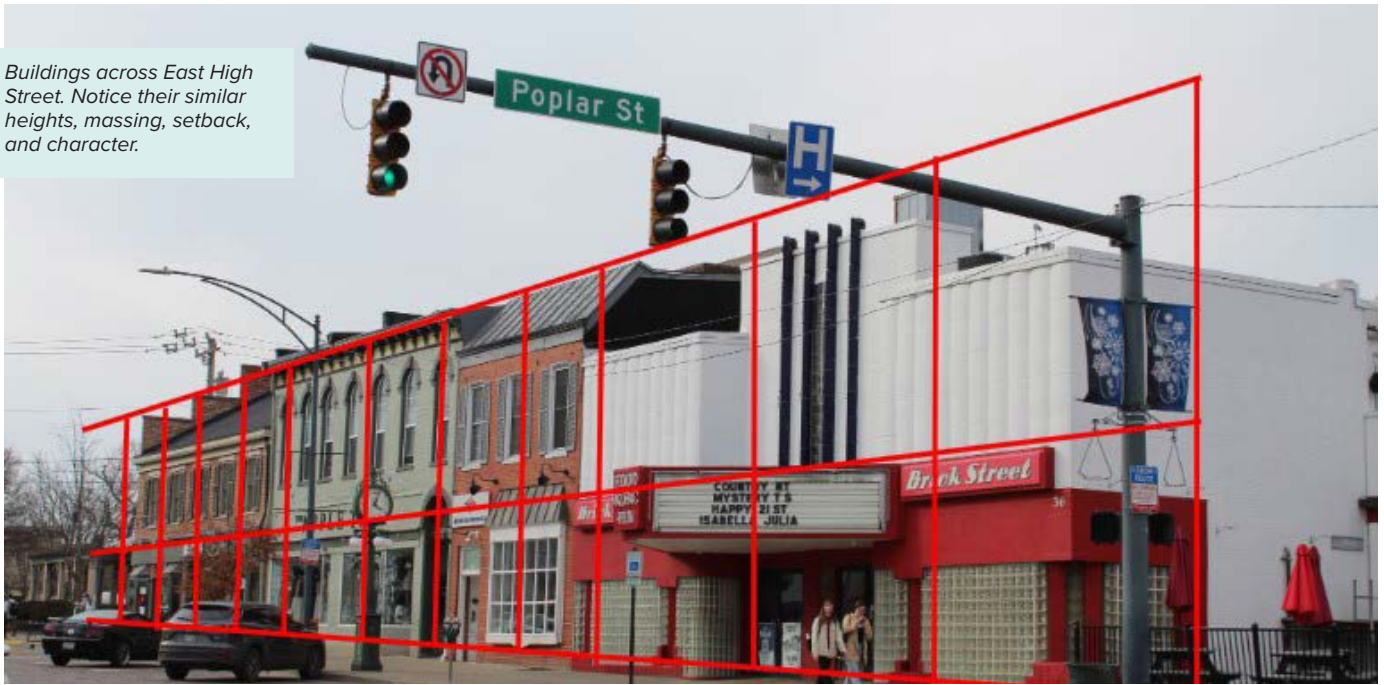
1. Building masses should be flush with the sidewalk, storefronts should be located at ground level, upper stories are generally articulated with equal alternating vertical bands of wall and fenestration, and a cornice should crown the commercial structure.
2. Buildings may be arranged with 1-3 structural bays which are vertical in disposition. Bays may be separated vertically by the use of pilasters.
3. Bays on the upper facade are typically symmetrical with either identical features across all bays or differentiation in the center bay.
4. The height of commercial buildings should be of larger dimension than the width of the facade.
5. The rehabilitation of existing buildings should be based on the historic architectural style and its character-defining features.
6. Storefronts and their windows should be aligned with the modular bays.
7. Upper stories should have a repetitive fenestration pattern or solid/void relationship. Upper stories are often symmetrical with pilasters or windows repeated along the other bays. The width between fenestration should be equal.
8. New and historic structures should have fenestration amounting to no less than 10% or no more than 40% of the upper stories on the facade.
9. Storefront height should fall between 10-14 feet, 2 inches.
10. New construction should follow the rhythm of facades, spacing, and proportions of surrounding commercial structures.



Evolution of a streetscape. *All About Old Buildings* by the National Trust for Historic Preservation. 1985

11. In residential and commercial structures, the primary facade should be oriented parallel to the adjacent street while the building footprint is oriented perpendicular to the street.
12. Setting back a structure from the property line is not permitted as it destroys the continuity of the street wall. Avoid setting back a structure from the sides of the property as well, which equally destroys the clarity of the wall.

*Buildings across East High Street. Notice their similar heights, massing, setback, and character.*



# Street Furniture

Street furniture refers to any item found along a street or public way, including items such as tables and chairs, benches, waste receptacles, lamp posts, carriage steps, stanchions, clocks, and monuments. This element is covered by other City of Oxford codes which should be referenced. Consult with City staff before planning a project to learn how the codes will affect the proposal.

## Guidelines

1. Existing street furniture should be repaired and maintained. If this is not possible, the original design, material, and location should be replicated.
2. New street furniture should be compatible with the period, style, and character of the surrounding area. These items should be integrated into the street environment.
3. Street furniture should be kept on a human scale and should generally be simple in terms of design and materials.
4. Street furniture should be placed in a manner that does not hinder pedestrian movement or block traffic.
5. Street furniture should not obscure character-defining features.

# Upper Facades

The upper and lower facades of historic commercial structures vary vastly. Storefronts are placed on the lower facade or first story and consist of large, glass storefront windows. Upper facades tend to be more ornamental and solid with smaller, more frequent window openings. Review guidelines on Cornices, Friezes, & Parapets, Siding, Masonry, Windows, and Ornamentation before potential work on upper facades.

## Guidelines

1. Exterior building materials and ornamental features on the upper facade should be preserved. Features on the upper facade should be repaired rather than replaced. If this is not possible due to excessive deterioration, replacements that replicate the feature in design, material, size, scale, color, and placement shall be used.
2. Historic and new structures should have a fenestration percentage of no less than 10% or more than 40% on the upper story street facades.
3. The upper floors should be visually distinct and separate from the first floor through the use of a storefront cornice, belt course, porch, or row of windows.



# Utilities

Utilities should be installed in the least visible location possible as they can take away from a structure's architectural and historical character. This element is covered by other City of Oxford Codes and standards. Consult with City staff before planning a project to learn how the codes will affect the proposal.

## Guidelines

1. New mechanical systems shall be installed in a manner that causes the least alteration possible to the building's exterior elevations, site, environment, and historic building material.  
  
The installation of mechanical systems should be reversible without damaging historic materials or features.
2. All mechanical equipment shall be installed in the least visible location possible, typically the rear of the structure or the rear half of the secondary elevation. Roof top installations will be considered if they cause minimal damage to historic material, do not obscure character-defining features, and are not visible from the public right-of-way.
3. Mechanical equipment should be low to the ground and use as little space as possible.
4. Screening mechanical systems with landscaping is encouraged.
5. New air conditioning units and related mechanical equipment shall not be installed in such a manner that the historic materials and features are damaged or obscured.
6. Window air conditioning units are acceptable if they are installed in a manner that protects the window sash and frames. Window units cannot be attached to or penetrate exterior walls and cannot reconfigure an original window opening. The cutting of a new window opening in the side of the structure is also not permitted. These heating and cooling installations are seasonal.
7. Exterior system lines shall enter directly into the structure at the base near the foundation adjacent to the unit.
8. When mechanical equipment is affixed to a building, such as masts and electric meters, it must be installed to avoid damaging the structure. When affixed to a masonry structure, attach the equipment to the mortar joints, not the brick or stone.
9. Utility boxes and ventilation covers should be painted to match the color of the building.

## Further Reading

- ▶ *Preservation Briefs 24: Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches*

# Walks, Sidewalks, & Driveways

Walks, sidewalks, and driveways are also covered by other City of Oxford codes, including street cuts, landscaping, lot coverage requirements, and open yard requirements. Consult with City staff before planning a project to learn how the codes will affect the proposal.

## Guidelines

1. Walks, sidewalks, and driveways must be maintained. Historic sidewalk materials other than concrete, such as field stone, should be preserved.
2. Individual curb cuts for driveways are not permitted. Alleys should be utilized as much as possible for automobile access.
3. Parking areas should be visually screened with landscaping material rather than fences of solid walls.
4. The visual impacts of service and loading areas should be minimized and located at the rear of the building. They should also be screened from the public right-of-way.
5. Decorative walk and sidewalk lighting should be minimal and should be architecturally appropriate to the adjacent buildings.

# Windows

Windows are significant features as their arrangement, size, proportions, materials, and details define the character of a structure. Windows and their numerous parts, such as lintels, sills, mullions, muntins, sashes and more, should be preserved and repaired with their original material or compatible substitute material. One of the most common misconceptions about historic windows is that they are not energy efficient. It has been proven that an appropriately weather-sealed historic window with a storm window is just as energy efficient, if not more so, than a new insulated window.

## Guidelines

1. Historic windows should be retained and repaired rather than replaced. This includes the windows themselves, the hardware, sash, muntins, glazing, pane configuration, mullions, trim, lintels, and sills.
2. Windows can be repaired by patching, splicing, consolidating, or otherwise reinforcing them using recognized preservation methods. Repair may include the limited replacement in-kind or with compatible substitute material of those extensively deteriorated, broken, or missing components when there are surviving prototypes, such as sash, sills, hardware, or shutters.
3. When replacing broken glass, utilize glass that has the same visual characteristics as the historic glass.
4. Decorative windows such as Palladian, oriels, bay, and Gothic arch, or segmented tops shall not be removed or altered. Historic lead glass, stained glass, beveled glass, and prismatic glass should be preserved as well.
5. The position, number, and arrangement of original windows should be preserved.
6. Windows should be protected from chemical cleaners, paint, and abrasion during exterior work on the building.
7. The operability of windows should be preserved by lubricating friction points, replacing broken components of the operating system (hinges, latches, sash chains or cords), and replacing deteriorated gaskets or insulation units.



8. Historic storm windows should be retained and preserved. Adding storm windows is permitted if it is a matching or a one-over-one pane configuration that will not obscure the characteristics of the historic windows and matches the color of the existing window trim. Interior storm windows are also appropriate as an alternative to exterior storm windows. Removable storm windows are preferred.
9. A window too deteriorated to be repaired can be replaced using physical evidence or historical documentation. If using the same material is not feasible, then compatible substitute materials may be considered.
10. Missing historic windows can be designed through physical evidence or historic documentation or a new design that is compatible with the size, scale, material, and color of the historic building may be considered.
11. Incompatible non-historic windows should be replaced with new windows that are compatible with the historic character of the building. Windows that have been filled in should be reinstated.
12. Introducing or changing the location or size of existing windows shall not be permitted.
13. Glass block windows are only appropriate on the basement level and when they are placed on a secondary elevation that is not visible from the street.

### Further Reading

- ▶ *Preservation Briefs 9: The Repair of Historic Wooden Windows*
- ▶ *Preservation Briefs 13: The Repair and Thermal Upgrading of Historic Steel Windows*
- ▶ *Preservation Briefs 33: The Preservation and Repair of Historic Stained and Leaded Glass*





# 05



# Glossary

## A

**Addition:** An expansion on the original footprint of a building such as a wing, ell or porch added to an existing building or structure.

**Alteration:** Any change or modification to a building.

**Appropriate:** Suitable for, or compatible with, a property based on accepted standards and techniques for historic preservation.

**Arch:** A curved or sometimes pointed structural member built to support the weight above an opening.

**Architectural Feature:** A prominent or significant part or element of a building.

**Architectural Style:** A definite type of architecture distinguished by special characteristics of structure and ornament.

**Architrave:** The lower part of a classical entablature, resting directly on the capital of a column, the ornamental band or molding around a window or door.

**Association:** The direct link between an important historic event or a person and a historic property; one of the seven aspects of historic integrity.

**Awning:** A roof-like cover of canvas or plastic over a window or door to provide protection from the elements.

## B

**Base:** The lowermost portion of a wall, column, pier or other structure, usually distinctively treated and considered as an architectural unit.

**Bay:** A spatial division of an elevation, usually marked by fenestration or vertical elements such as columns or posts.

**Belt Course:** A flat, horizontal band marking story divisions on the façade, also called a string course.

**Bond:** The pattern in which brick masonry is laid (ex. Common, Running, Flemish, English).

**Bracket:** A projecting support element under eaves, shelves, or overhangs, often more decorative than functional.

**Bulkhead:** The area below the display window and the ground on the facade of a commercial storefront.

## C

**Canopy:** Ornamental roof-like structure or cloth covering held horizontally over an entrance.

**Capital:** The decorated top of a column or pilaster which supports the entablature. The Doric, Ionic, and Corinthian column styles have their own characteristic capital.

**Casement Window:** A window with sash hung vertically, which swings inward or outward on its side hinges.

**Catslide Roof:** A roof characterized by an extended slope on one side, typically extending down to the first story.

**Certificate of Appropriateness:** Written approval of a permit application for work in a local historic district by the HAPC, indicating that the work is appropriate and does not adversely effect a resource.

**Character-Defining Features:** Prominent or distinctive aspects, qualities, or characteristics of a historic property that contribute significantly to its physical structure or appearance.

**Column:** A supporting round post, fluted or smooth, found on storefronts, balconies, or porches. Column anatomy consists of a capital, shaft, and base. Common in the Doric, Ionic, or Corinthian style.

**Compatible Design:** Design that is harmonious with the natural and built environment and is consistent with the form, massing, and materials of surrounding properties.

**Conjectural:** Design based on or involving guesswork or an unsubstantiated theory.

**Contributing Resource:** A building, structure, object, or site that demonstrates historical significance to the City of Oxford's historic districts.

**Coping:** The protective uppermost course of a wall or parapet.

**Corbelling:** A series of brick projections, usually found in a stepped design.

**Cornerboard:** A board used to cover the exposed ends of wood siding to give a finished appearance and help make the building watertight.

**Cornice:** The upper projecting section of an entablature or ornamental molding along the top of a building or wall. Brackets are typically found along the cornice line of Victorian properties.

**Cresting:** An ornamental decoration at the ridge of a roof.

## D

**Demolition:** The razing of a building or structure in which their material remnants cannot be reused and are intended for the landfill.

**Demolition by Neglect:** Neglecting to maintain, repair, or secure a resource resulting in the deterioration of exterior features and/or loss of structural integrity of the resource.

**Dentil:** One of a horizontal row of small blocks used as decoration in a frieze or cornice.

**Design:** The combination of elements that create the physical form, plan, space, structure, and style of a property; one of the seven aspects of historical integrity.

**Design Guidelines:** Standards of appropriate activity to preserve the historic and architectural character of a building, structure, object, or site.

**Dormer:** A structural extension of a building's roof, intended to provide light and headroom in a half-story; usually contains window(s) on its vertical face.

**Double-hung Window:** A window with two balanced sashes, with one sliding vertically over the other to open.

## E

**Eaves:** The lower portion of the sloping surface of a roof which projects and overhangs an exterior wall.

**Elevation:** Any side of a building usually prefaced with its cardinal direction.

**Eligible:** Meets the criteria for listing in a historic register, but is not officially listed.

**Energy Efficiency:** The process of reducing the amount of energy required for a product or service.

**Entablature:** The part of the building between the roof and the column capital, including the cornice, frieze, and architrave.

## F

**Facade:** The face of a building, usually referring to the front.

**Fanlight:** A semicircular or fan-shaped window usually found over an entrance door.

**Feeling:** A property's expression of the aesthetic or historic sense of a particular period of time; one of the seven aspects of historic integrity.

**Fenestration:** The design and placement of windows and other exterior openings.

**Finial:** An ornament at the top of a spire, gable, or pinnacle.

**Flashing:** Thin metal used around wall, roof and chimney junctions and angles to prevent moisture infiltration.

**Flue:** The passage in a chimney through which smoke, gases, and fumes escape to the outer air.

**Frieze:** The middle part of an entablature between the architrave and cornice, any plain or decorative band or board on the top of a wall immediately below the cornice.

## G

**Gable:** The triangular section of the end wall of a gable roof.

## H

**Hipped Roof:** A roof formed by four pitched sides which meet at a ridge at the center of the roof.

**Historic and Architectural Preservation Commission (HAPC):** A local government board responsible for overseeing design review for locally-designated districts in the City of Oxford, Ohio.

**Historic District:** A significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.

**Historic Integrity:** The authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic or prehistoric period; the ability of a property to convey its historic significance through seven aspects: location, setting, design, materials, workmanship, feeling, and association.

**Historic Resource:** Any prehistoric or historic building, structure, object, or site included in or eligible for a historic register.

## I

**Infill Construction:** A new structure built in a block or row of existing buildings; must be compatible with historic structures when placed in a historic district.

**In-Kind Replacement:** To replace a building feature with materials of the same characteristics, such as material, texture, color, dimension, etc.

## K

**Keystone:** A wedge-shaped block at the top center of an arch.

## L

**Lattice:** A network of interlacing lath or other material often used at the base of a porch.

**Lintel:** Horizontal structural element at the top of a window or door; it carries the load of the wall above and may be of wood, stone, or metal.

**Location:** The place where a historic property was constructed or the place where a historic event occurred; one of the seven aspects of historic integrity.

**Louver:** An opening or slatted grill allowing ventilation while providing protection from rain.

## M

**Masonry:** General term for construction of brick, stone, concrete block, or similar materials.

**Massing:** The three-dimensional form of a building that includes width, depth, and height.

**Materials:** The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property; one of the seven aspects of integrity.

**Modillion:** Decorative and supportive block or horizontal bracket generally found under the cornice.

**Mortar:** A mixture of cement, sand, lime, and water used to bond masonry units.

**Mothballing:** The process of “de-activating” a property for an extended period of time in a manner that does not deteriorate the property. A temporary measure to protect a building from weather and vandalism.

**Mullion:** A vertical piece that divides windows, doors, or panels in a series.

**Muntin:** The wood or metal strips separating the panes of glass within a window; also called sash bars, glazing bars, or grids.

## N

**National Register of Historic Places:** The official list of the nation’s historic places worthy of preservation.

**Non-Contributing Resource:** A building, structure, object, or site that does not add to the significance of the City of Oxford’s historic districts.

## O

**Ornamentation:** Decoration, usually nonstructural, that is applied to a building to increase its visual interest.

## P

**Parapet:** The portion of an exterior wall that rises entirely above the roof, usually in the form of a low retaining wall.

**Pediment:** A wide low-pitched gable surmounting the facade of a building; also used above windows and doors.

**Pilaster:** A flat pier that is attached to the surface of the wall that has little projection; the pier may be given a base and cap, may be smooth or fluted.

**Portico:** An entrance porch often supported by columns or topped by a pedimented roof; can be open or partially closed.

**Preservation:** The act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property.

**Public Right-of-Way:** The area, on, below, or above a public roadway, highway, street, alley, easement, or waterway.

## Q

**Quoin:** Stones or bricks at the corners of buildings, laid so their faces are alternately large and small, usually differentiated from the adjoining surfaces by material, texture, color, size, or projection.

## R

**Reconstruction:** The act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

**Rehabilitation:** The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

**Relocation:** The act of moving or relocating a historic or non-historic resource.

**Renewable Energy:** Energy from renewable natural resources, such as solar.

**Renovation:** The process of improving or revising an existing structure; often used interchangeably with alteration or modification.

**Repoint:** To rake out old mortar between masonry courses and fill them with new mortar to repair the joint.

**Restoration:** The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period.

## S

**Sash:** A frame in which the panes of glass in a window or door are set. May be fixed, sliding, hinged, or pivoted.

**Scale:** The relationship of the size of a building or object to the size of a human being. Grand or large-scale implies a size out of proportion to human size, while small or intimate-scale implies the opposite.

**Setting:** The physical environment of a historic property; one of the seven aspects of historic integrity.

**Sidelight:** One of a pair of narrow windows flanking a door. Sometimes there is only one sidelight.

**Site:** The physical features and attributes of a specific location.

**Soffit:** A flat wood member used as a finished undersurface for any overhead exposed part of a building, such as a cornice.

**Spalling:** A condition of brick or stone in which layers break off vertically and fall away. This is usually caused by internal pressures due to water freezing or chemical crystallizing.

**Spindle:** A turned wood element used in stair railings and porch trim.

**Streetscape:** The character of the street and how elements of the street form a cohesive environment.

**Street Furniture:** Generic term for any item found along a street or public way, such as tables and chairs, benches, waste receptacles, lamp posts, and monuments.

**Structure:** A functional construction made for purposes other than creating shelter, such as a bridge.

**Stucco:** A plaster finish applied to exterior walls made of cement, lime, and water.

## T

**Transom Window:** A narrow window over a door or another window which is usually glazed or solid sash.

## U

**Upper Facade:** The upper stories of the facade, above the first-floor storefronts.

## V

**Vernacular:** Refers to buildings that are built in local and regional styles from locally available materials following traditional building practice and patterns and are not architect designed.

## W

**Wing:** A parallel extension to a building, often subordinate.

**Work:** Refers to any construction, addition, alteration, repair, moving, excavation, or demolition.

**Workmanship:** The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory; one of the seven aspects of historic integrity.



# 06



# References and Additional Resources

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# Additional Resources

## City of Oxford

### **Codified Ordinances**

[codelibrary.amlegal.com/codes/oxford/latest/oxford\\_oh/0-0-0-8](http://codelibrary.amlegal.com/codes/oxford/latest/oxford_oh/0-0-0-8)

### **Historic Preservation**

[cityofoxford.org/government/boards\\_\\_commissions/historic\\_and\\_architectural\\_preservation\\_committee\\_%28harc%29.php](http://cityofoxford.org/government/boards__commissions/historic_and_architectural_preservation_committee_%28harc%29.php)

### **Certificate of Appropriateness Application**

[cms9files.revize.com/oxfordoh/Document\\_center/Department/Community%20Development/PZE%20Application%20Forms/Oxford%20OH%20-%20Certificate%20of%20Appropriateness%20Application.pdf](http://cms9files.revize.com/oxfordoh/Document_center/Department/Community%20Development/PZE%20Application%20Forms/Oxford%20OH%20-%20Certificate%20of%20Appropriateness%20Application.pdf)

### **Oxford History and Self-Guided Tours**

[enjoyoxford.org/history/](http://enjoyoxford.org/history/)

## State Government

### **Ohio State Historic Preservation Office**

[ohiohistory.org/preserving-ohio/state-historic-preservation-office/](http://ohiohistory.org/preserving-ohio/state-historic-preservation-office/)

### **Ohio Historic Preservation Tax Credit**

[ohiohistory.org/preserving-ohio/historic-tax-incentive/ohio-historic-preservation-tax-credit/](http://ohiohistory.org/preserving-ohio/historic-tax-incentive/ohio-historic-preservation-tax-credit/)

### **Heritage Ohio**

[heritageohio.org/](http://heritageohio.org/)

## Federal Government

### **Secretary of the Interior's Standards for the Treatment of Historic Properties**

[nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf](http://nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf)

### **Standards & Guidelines for Rehabilitation**

[nps.gov/articles/000/treatment-standards-rehabilitation.htm](http://nps.gov/articles/000/treatment-standards-rehabilitation.htm)

### **National Park Service Federal Historic Tax Credit Program**

[nps.gov/subjects/taxincentives/index.htm](http://nps.gov/subjects/taxincentives/index.htm)

# National Park Service Preservation Briefs

## Homepage:

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[nps.gov/orgs/1739/upload/preservation-brief-01-cleaning-masonry.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-01-cleaning-masonry.pdf)
- Preservation Briefs 2:** Repointing Mortar Joints in Historic Masonry Buildings  
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- Preservation Briefs 3:** Improving Energy Efficiency in Historic Buildings  
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- Preservation Briefs 4:** Roofing for Historic Buildings  
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- Preservation Briefs 6:** Dangers of Abrasive Cleaning to Historic Buildings  
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- Preservation Briefs 9:** The Repair of Historic Wooden Windows  
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- Preservation Briefs 10:** Exterior Paint Problems on Historic Woodwork  
[nps.gov/orgs/1739/upload/preservation-brief-10-paint-problems-exterior-woodwork.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-10-paint-problems-exterior-woodwork.pdf)
- Preservation Briefs 11:** Rehabilitating Historic Storefronts  
[nps.gov/orgs/1739/upload/preservation-brief-11-storefronts.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-11-storefronts.pdf)
- Preservation Briefs 12:** The Preservation of Historic Pigmented Structural Glass  
[nps.gov/orgs/1739/upload/preservation-brief-12-structural-glass.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-12-structural-glass.pdf)
- Preservation Briefs 13:** The Repair and Thermal Upgrading of Historic Steel Windows  
[nps.gov/orgs/1739/upload/preservation-brief-13-steel-windows.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-13-steel-windows.pdf)
- Preservation Briefs 14:** Exterior Additions to Historic Buildings: Preservation Concerns  
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- Preservation Briefs 15:** Preservation of Historic Concrete  
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- Preservation Briefs 16:** The Use of Substitute Materials on Historic Building Exteriors  
[nps.gov/orgs/1739/upload/preservation-brief-16-substitute-materials-2023.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-16-substitute-materials-2023.pdf)
- Preservation Briefs 17:** Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character  
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- Preservation Briefs 18:** Rehabilitating Interiors in Historic Buildings – Identifying Character-Defining Elements  
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- Preservation Briefs 42:** The Maintenance, Repair, and Replacement of Historic Cast Stone  
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[nps.gov/orgs/1739/upload/preservation-brief-50-lightning-protection.pdf](https://nps.gov/orgs/1739/upload/preservation-brief-50-lightning-protection.pdf)
- Preservation Briefs 51:** Building Codes for Historic and Existing Buildings: Planning and Maximizing their Application  
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